

PERMITTING & CONSULTING SERVICES

GEROME CHIRCO RESIDENCE

360 SATURN AVENUE,
TEQUESTA, FL 33469

CODES IN EFFECT

2023 FLORIDA BUILDING CODE, BUILDING, EIGHTH EDITION	WIND LOADS PER ASCE 7-22:	
2023 FLORIDA BUILDING CODE, EXISTING BUILDING, EIGHTH EDITION		
2023 FLORIDA BUILDING CODE, MECHANICAL, EIGHTH EDITION	—BASIC WIND SPEED:	170 MPH
2023 FLORIDA BUILDING CODE, PLUMBING, EIGHTH EDITION	—EXPOSURE CATEGORY:	C
2023 FLORIDA FIRE PREVENTION CODE (FFPC), 8TH EDITION — FIRE CODE	—RISK CATEGORY:	II
NATIONAL ELECTRICAL CODE, 2023 (NFPA 70, 2023)	—MEAN ROOF HEIGHT:	17 FT

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE PLANS; IT SHALL BE ASSUMED THE CONTRACTOR IS FULLY INFORMED OF EXISTING CONDITIONS, MATERIALS, AND THE CHARACTER, QUALITY, AND QUANTITY OF WORK AND MATERIALS REQUIRED BY THE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FINAL PLANS AND IN THE FIELD PRIOR TO ANY WORK AND SHALL IMMEDIATELY NOTIFY DLGE OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR COSTS ARISING FROM FAILURE TO VERIFY OR TO NOTIFY TIMELY. DLGE WILL, IN AN EXPEDIENT MANNER, PROVIDE REVISED DRAWINGS TO THE OWNER FOR REVIEW AND APPROVAL.
- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM FINAL ACCEPTANCE BY THE OWNER AND SHALL, AT NO COST TO THE OWNER, REPAIR OR REPLACE WORK THAT BECOMES DEFECTIVE DURING THE GUARANTEE PERIOD.
- THE CONTRACTOR SHALL COORDINATE AND SUPERVISE HIS WORK AND THE WORK OF ALL SUBCONTRACTORS.
- THESE PLANS ARE THE PROPERTY OF DLGE AND SHALL NOT BE USED, REPRODUCED, OR MODIFIED WITHOUT THE EXPRESS WRITTEN CONSENT OF DLGE.
- THE GENERAL CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING OF CONCRETE SLABS, PARTITIONS, AND RELATED ELEMENTS AS REQUIRED FOR ALL TRADES TO COMPLETE THE WORK SHOWN IN THESE CONTRACT DOCUMENTS.
- IT IS THE INTENT OF DLGE THAT THIS WORK CONFORM TO AUTHORITIES HAVING JURISDICTION. ALL WORK SHALL COMPLY WITH THE 2023 FLORIDA BUILDING CODE (FBC) AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE THE WORK WITH GOOD WORKMANSHIP.
- AFTER APPROVAL OF FINAL PLANS, ALL REVISIONS SHALL BE SUBMITTED THROUGH DLGE FOR APPROVAL. REVISIONS WITHOUT DLGE'S WRITTEN APPROVAL MAY BE REJECTED AND REQUIRE CORRECTION AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION AS REQUIRED BY CITY AND LOCAL CODE.
- THE CONTRACTOR SHALL REMOVE SPECIFIC ITEMS INDICATED ON THESE DRAWINGS AND ANY OTHER ITEMS NECESSARY TO COMPLETE THE NEW WORK IN THE AREAS SHOWN.
- ALL DIMENSIONS SHALL BE FIELD-VERIFIED; REPORT DISCREPANCIES TO DLGE BEFORE PROCEEDING.
- CONTROL DUST TO PREVENT NUISANCE OR DAMAGE. WATER USE FOR DUST CONTROL SHALL NOT CREATE HAZARDOUS CONDITIONS; MISTING AND WET MOPPING ARE PERMITTED.
- EXISTING SURFACES (WALLS, FLOORS, CEILINGS, BASES, ETC.) AFFECTED BY THIS WORK SHALL RECEIVE NEW MATERIALS AND FINISHES TO MATCH ADJACENT EXISTING, UNLESS NOTED OTHERWISE.
- GARBAGE/DEBRIS REMOVAL SHALL BE BY COVERED CART OR COVERED CONTAINER ONLY.
- THE CONTRACTOR SHALL COVER AND PROTECT ALL REMAINING EQUIPMENT AND ADJACENT AREAS NOT IN SCOPE.
- MEP SCOPE LIMITATION: NO HVAC WORK; NO LAUNDRY/PLUMBING RELOCATION; NO GUEST BATH MEP WORK UNDER THIS PERMIT. EXISTING SYSTEMS SHALL REMAIN IN PLACE, IN SERVICE, AND UNALTERED, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
- INSPECTIONS: DLGE WILL NOT PROVIDE A STATEMENT OF INSPECTION UNLESS CONTACTED IN ADVANCE TO SCHEDULE, WITH REASONABLE NOTICE, PRIOR TO CONCEALMENT OR FINAL INSTALLATION.

ABBREVIATIONS

	AT	DWG.	DRAWING	MIN.	MINIMUM	N.I.C.	NOT IN CONTRACT	SMS	SHEET METAL SCREW	SYSTEM ABBREVIATIONS
ALUM.	ALUMINUM	EA.	EACH	MIR.	MIRROR	O.C.	ON CENTER	STL.	STEEL	
ATT.	ATTACHED	E.DIST.	EDGE DISTANCE	MTL.	METAL	O.D.	OUTSIDE DIAMETER	STRUCT.	STRUCTURE	CW
BLDG.	BUILDING	EMBED.	EMBEDMENT	N.I.C.	NOT IN CONTRACT	OPG.	OPENING	THK.	THICK	ED
BOT.	BOTTOM	EXIST.	EXISTING	HORIZ.	HORIZONTAL	P.T.	PRESSURE TREATED	TYP.	TYPICAL	FX
C.C.	CENTER TO CENTER	F.D.	FRAME DIMENSION	HSS	HOLLOW STRUCTURAL SECTION	PL.	PLATE	U.O.N.	UNLESS OTHERWISE	HM
C.L.	CENTER LINE	H.	HEIGHT	M.O.	MASONRY OPENING	R.	RADIUS	NOTED	NOTED	HR
CLG.	CEILING	HORIZ.	HORIZONTAL	MAT'L.	MATERIAL	R.O.	ROUGH OPENING	V.I.F.	VERIFY IN FIELD	LOUVER
COL.	COLUMN	HSS	HOLLOW STRUCTURAL SECTION	MAX.	MAXIMUM	REINF.	REINFORCEMENT	VERT.	VERTICAL	LV
CONC.	CONCRETE	M.O.	MASONRY OPENING	MFR.	MANUFACTURER	REINF'D	REINFORCED	W.	WIDTH	SGD
CONT.	CONTINUOUS	MAT'L.	MATERIAL	MIN.	MINIMUM	REQ'D.	REQUIRED	W/	WITH	SH
D.	DEPTH	MAX.	MAXIMUM	MIR.	MIRROR	SIM.	SIMILAR	WD.	WOOD	SKL
DIA.	DIAMETER	MFR.	MANUFACTURER	MTL.	METAL	SL.	SLOPE			WW

SYMBOL LEGEND

NORTH ARROW	ELEVATION TAG	DETAIL NUMBER (TYP.)	OVERALL ELEVATION TAG	SECTION TAGS	DETAIL TAGS	SYSTEM DETAIL TAG	WINDOW TAG	COLUMN TAG	SYSTEM ID TAG	ELEVATION MARK	WIND LOAD TAG

DIMENSIONS SHOWN ARE NOMINAL. GLAZING / STEEL FABRICATOR TO OBTAIN FIELD DIMENSIONS PRIOR TO FABRICATION

THE EXISTING STRUCTURE AND SUBSTRATE SHOULD BE VERIFIED, BY OTHERS, TO SUPPORT THE LOADS IMPOSED BY THE GLAZING SYSTEM

CONTRACTOR TO REPORT ANY DEVIATIONS BETWEEN FIELD CONDITIONS AND DETAILS SHOWN ON THESE DRAWINGS TO DLG ENGINEERING PRIOR TO INSTALLATION

WORK CLASSIFICATION / PROJECT DATA

WORK CLASSIFICATION:
ALTERATION LEVEL 2
(2023 FLORIDA BUILDING CODE, EXISTING BUILDING, EIGHTH EDITION, CHAPTER 8)

LEVEL 2 BASIS:
PROJECT INCLUDES INTERIOR SPACE RECONFIGURATION, ADDITION/ELIMINATION OF WINDOWS, AND RECONFIGURATION/EXTENSION OF MEP SYSTEMS. WORK AREA IS LESS THAN 50% OF THE BUILDING AREA (WORK AREA METHOD).

PROJECT TYPE:
INTERIOR RESIDENTIAL REMODEL —SINGLE—FAMILY RESIDENCE (SFR)

SPECIFIC USE:
RESIDENTIAL (SINGLE—FAMILY)

NUMBER OF UNITS:
1

TOTAL BUILDING AREA:
2,288 SF

AREA UNDER AIR:
1,736 SF

WORK AREA (ALTERED AREA):
850 SF (TO BE VERIFIED BY AOR FINAL TAKEOFF)

WORK AREA RATIO:
37.15% OF TOTAL BUILDING AREA
(48.96% OF AREA UNDER AIR —FOR REFERENCE ONLY)

FULLY SPRINKLERED:
NO

FIRE ALARM:
NO

EXISTING BUILDING:
1—STORY SINGLE—FAMILY RESIDENCE

YEAR BUILT:
1963

ZONING:
R-1 (SINGLE FAMILY)

PROPERTY USE CODE:
0100 —SINGLE FAMILY

JURISDICTION:
VILLAGE OF TEQUESTA, FL

PROJECT ADDRESS:
360 SATURN AVE, TEQUESTA, FL

PARCEL ID:
60-43-40-30-04-036-0080

NO CHANGE IN OCCUPANCY, NO CHANGE IN BUILDING FOOTPRINT, AND NO STRUCTURAL INTERIOR WALLS ARE INCLUDED IN THIS SCOPE EXCEPT LOCALIZED CMU INFILL/OPENING MODIFICATION FOR WINDOW RECONFIGURATION AS SHOWN IN ARCHITECTURAL/STRUCTURAL PLANS.

ONLY MARKED UNITS ARE PART OF THE SCOPE. FULL SCOPE MAY NOT COVER FULL ENVELOPE OF THE BUILDING / RESIDENCE. DLGE NOT RESPONSIBLE FOR THE FULL ENVELOPE OF THE BUILDING / RESIDENCE.

DLGE SCOPE IS LIMITED TO CHECKING ALL GLAZING PRODUCTS HAVE A VALID PRODUCT APPROVAL AND ARE FBC COMPLIANT. SCOPE LIMITED TO STRENGTH OF THE SYSTEM AND ANCHORAGE CHECK.

GC IS RESPONSIBLE TO VERIFY THAT THE SUBSTRATES MEET THE REQUIREMENTS SPECIFIED IN PRODUCT APPROVALS AND DETAILS IN THIS DRAWINGS.

SCOPE OF WORK

- INTERIOR REMODEL OF EXISTING SINGLE—FAMILY RESIDENCE
- DEMOLITION OF NON—LOAD—BEARING INTERIOR
- WALLS/PARTITIONS
- RECONFIGURATION OF BEDROOM, BATHROOM, AND KITCHEN LAYOUTS
- CONSTRUCTION OF NEW NON—STRUCTURAL PARTITIONS FOR NEW BEDROOM AND NEW BATHROOM
- NEW BATHROOM ADDITION (PLUMBING, ELECTRICAL, AND EXHAUST FAN)
- KITCHEN REMODEL (NEW ISLAND / CABINET LAYOUT RECONFIGURATION)
- RELOCATION OF ELECTRICAL DEVICES, RECEPTACLES, AND LIGHT FIXTURES IN ALTERED AREAS
- PROVIDE/INSTALL NEW ELECTRICAL OUTLETS AS REQUIRED BY CODE IN ALTERED AREAS
- RELOCATION OF HVAC SUPPLY/RETURN GRILLES TO MATCH NEW ROOM LAYOUT (NO NEW HVAC EQUIPMENT)
- WINDOW OPENING RECONFIGURATION AT EXTERIOR WALLS
- INFILL OF EXISTING WINDOW OPENINGS AND NEW WINDOW OPENINGS (INCLUDING LOCALIZED CMU WORK)
- DEMOLITION AND REPLACEMENT OF FLOOR FINISH THROUGHOUT HOUSE (NEW CERAMIC TILE)

GLAZING SYSTEMS

A. HORIZONTAL ROLLING WINDOW — L.M.I.

FL# 40097.2
ECO—GUARD SERIES 200 ALUMINUM HORIZONTAL ROLLING WINDOW (L.M.I.)
MANUFACTURER: ECO WINDOW SYSTEMS
FRAME FINISH: AAMA 2604 BRONZE

GLAZED WITH GLASS TYPE "G"
7/16" THICK OVERALL LAMINATED GLASS
OUTBOARD: 3/16" GRAY HEAT—STRENGTHENED GLASS
INTERLAYER: 0.090" CLEAR INTERLAYER TROSIFOL PVB BY 'KURARAY AMERICA, INC.'
INBOARD: 3/16" CLEAR HEAT—STRENGTHENED GLASS

A. SINGLE HUNG WINDOW — L.M.I.

FL# 40096.2
ECO—GUARD SERIES 100 ALUMINUM SINGLE HUNG WINDOW (L.M.I.)
MANUFACTURER: ECO WINDOW SYSTEMS
FRAME FINISH: AAMA 2604 BRONZE

GLAZED WITH GLASS TYPE "B"
7/16" THICK OVERALL LAMINATED GLASS
OUTBOARD: 3/16" GRAY HEAT—STRENGTHENED GLASS
INTERLAYER: 0.090" CLEAR INTERLAYER TROSIFOL PVB BY 'KURARAY AMERICA, INC.'
INBOARD: 3/16" CLEAR HEAT—STRENGTHENED GLASS

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DLG ENGINEERING, INC.

ENGINEERING CONSULTANTS

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REVISIONS

WIMAL SUARIS, P.E.
PE# 37369
CA# 28476



GENERAL NOTES AND SITE LOCATION

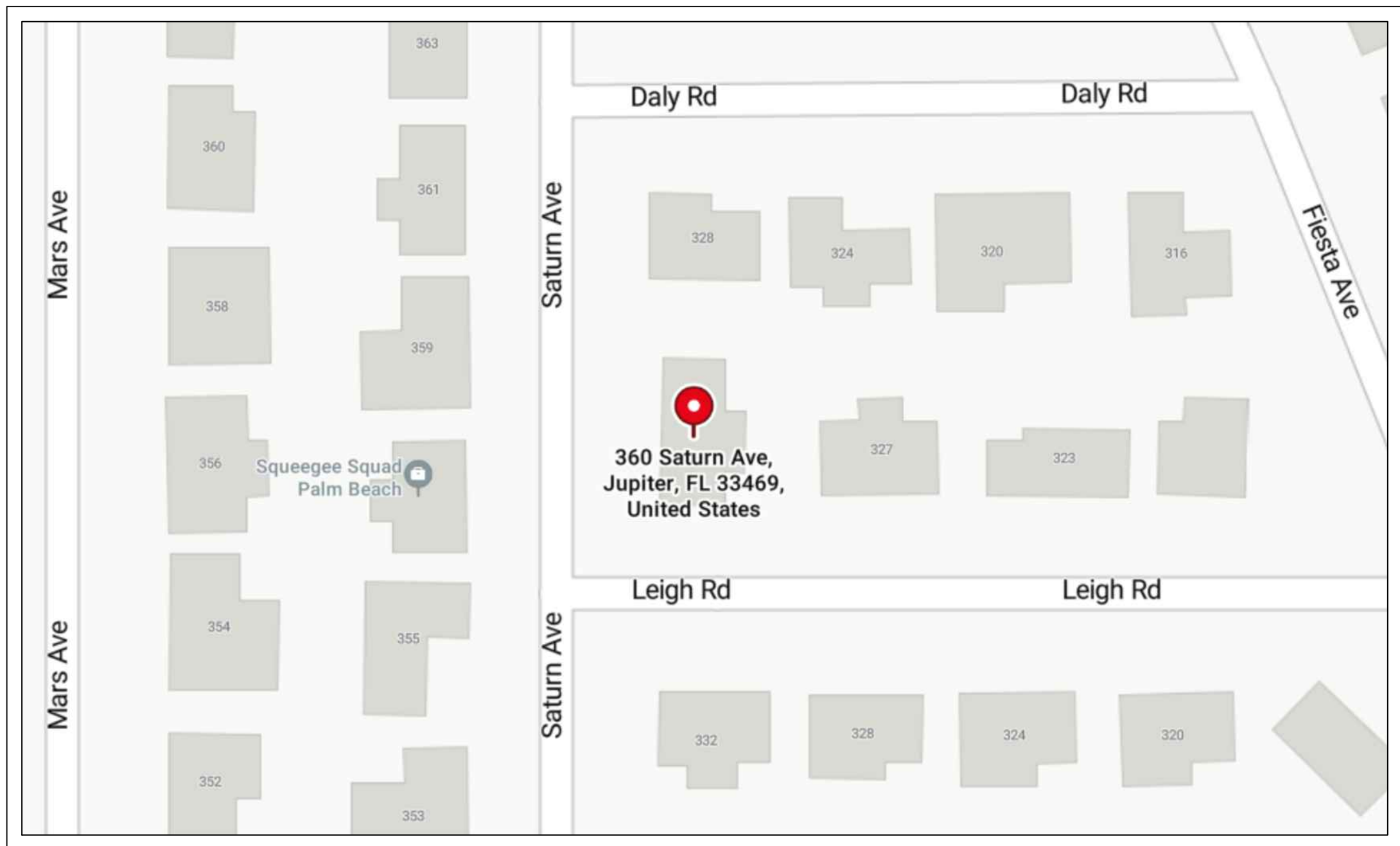
CLIENT: PERMITTING & CONSTRUCTION SERVICES
MIAMI, FL 33132

PROJECT: GEROME CHIRCO RESIDENCE
360 SATURN AVENUE,
TEQUESTA, FL 33469

DATE	02-26-2026
SCALE	AS NOTED
DRAWN	AA
CHECKED BY	JRO
PROJECT	26-021

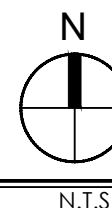
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SHEET
A-000



SITE LOCATION

SCALE



N.T.S.

SCOPE OF WORK – DEMO PLAN	
1. INTERIOR PARTITIONS (SELECTIVE DEMOLITION): REMOVE EXISTING NON–LOAD–BEARING INTERIOR WALLS/PARTITIONS, DOORS, AND CLOSETS AS SHOWN ON DEMO PLAN TO ALLOW NEW ROOM/BATH/KITCHEN RECONFIGURATION. NO STRUCTURAL INTERIOR WALL DEMOLITION IS INCLUDED. VERIFY ALL WALLS TO BE REMOVED ARE NON–LOAD–BEARING PRIOR TO DEMOLITION. PROTECT ADJACENT FINISHES AND EXISTING UTILITIES TO REMAIN. 2. BATHROOM / BEDROOM RECONFIGURATION DEMO: DEMOLISH EXISTING PARTITIONS AND ASSOCIATED FINISHES IN EXISTING BATHROOM/BEDROOM AREAS AS SHOWN TO ENLARGE AND RECONFIGURE SPACES. REMOVE EXISTING PLUMBING FIXTURES, TRIM, AND PIPING AS REQUIRED IN AREAS OF ALTERATION. CAP/MAKE SAFE EXISTING UTILITIES FOR RECONNECTION UNDER NEW WORK. 3. NEW BATHROOM AREA (SELECTIVE DEMO): DEMOLISH EXISTING FINISHES, BASE, AND WALL PORTIONS AS REQUIRED FOR CONSTRUCTION OF NEW BATHROOM AND NEW ADJACENT BEDROOM. COORDINATE DEMOLITION WITH NEW PLUMBING ROUGH–IN, ELECTRICAL, AND EXHAUST FAN INSTALLATION. 4. KITCHEN SELECTIVE DEMO: REMOVE EXISTING KITCHEN CABINETS, COUNTERTOPS, BACKSPLASH, APPLIANCES, AND EXISTING BAR/COUNTER CONFIGURATION AS SHOWN. DISCONNECT AND MAKE SAFE ALL ELECTRICAL AND PLUMBING CONNECTIONS BY LICENSED TRADES. PROTECT EXISTING SYSTEMS TO REMAIN FOR RECONNECTION. 5. FLOORING DEMOLITION: REMOVE EXISTING FLOOR FINISHES (CERAMIC/QUARRY TILE OR OTHER FINISHES), SETTING BED, AND ASSOCIATED BASE MATERIALS TO SOUND SUBSTRATE IN PERMITTED WORK AREAS AS SHOWN ON PLANS, INCLUDING FLOORING REMOVAL IN THE FAMILY/FLORIDA ROOM. PATCH/LEVEL SUBSTRATE AS REQUIRED UNDER NEW WORK. PROTECT ADJACENT SURFACES TO REMAIN. LEGALLY DISPOSE OF DEBRIS. 6. WINDOW / EXTERIOR WALL SELECTIVE DEMO: REMOVE EXISTING WINDOWS AND PERFORM SELECTIVE DEMOLITION OF EXTERIOR WALL PORTIONS AS SHOWN FOR WINDOW RECONFIGURATION, INCLUDING: a) INFILL OF (2) EXISTING WINDOW OPENINGS AT FRONT BEDROOM, b) DEMOLITION OF CMU AS REQUIRED FOR (1) NEW CENTERED WINDOW OPENING AT FRONT BEDROOM, c) NEW WINDOW OPENING AT NEW BEDROOM ADJACENT TO GARAGE. PROVIDE TEMPORARY SHORING/BRACING AS REQUIRED. COORDINATE LINTELS, JAMBS, SILLS, AND REINFORCEMENT WITH STRUCTURAL DRAWINGS. LOCATE/PROTECT CONCEALED UTILITIES. PATCH AND MAKE GOOD TO MATCH ADJACENT CONSTRUCTION. 7. ELECTRICAL SELECTIVE DEMO: REMOVE/RELOCATE EXISTING RECEPTACLES, SWITCHES, AND LIGHT FIXTURES IN ALTERED AREAS AS REQUIRED FOR NEW LAYOUT. MAINTAIN POWER TO AREAS/SYSTEMS TO REMAIN. EXISTING PANEL TO REMAIN; NO SERVICE UPGRADE INCLUDED UNDER THIS SCOPE UNLESS NOTED OTHERWISE. 8. HVAC SELECTIVE DEMO / MODIFICATION: EXISTING HVAC EQUIPMENT (CONDENSER, AIR HANDLER, AND MAIN SYSTEM) TO REMAIN. REMOVE/RELOCATE ONLY THOSE DUCT BRANCHES/GRILLES REQUIRED TO ALIGN WITH NEW BEDROOM AND NEW BATHROOM LAYOUT. EXISTING GRILLES IN NON–ALTERED AREAS TO REMAIN IN PLACE. 9. GENERAL DEMOLITION REQUIREMENTS: FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION. CONTRACTOR SHALL COORDINATE ALL TRADES, PROTECT STRUCTURAL ELEMENTS TO REMAIN, MAINTAIN WEATHER–TIGHT CONDITIONS AT EXTERIOR OPENINGS, AND PROVIDE DUST CONTROL. ANY UNFORESEEN CONDITIONS SHALL BE REPORTED TO THE DESIGN PROFESSIONAL PRIOR TO PROCEEDING. NOTE: NO WORK IS INCLUDED IN THE FAMILY ROOM UNDER THIS PERMIT. EXISTING FAMILY ROOM WALLS, WINDOWS, FLOOR FINISHES, ELECTRICAL, HVAC, AND ALL OTHER COMPONENTS SHALL REMAIN IN PLACE, IN SERVICE, AND UNALTERED UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PERMITTED PLANS.	

PROJECT INFORMATION	
PROPERTY OWNER(S): D&EA GROUP LLC PROJECT ADDRESS: 360 SATURN AVE, TEQUESTA, FL FOLIO / PARCEL CONTROL NUMBER: 60–43–40–30–04–036–0080 JURISDICTION: - VILLAGE OF TEQUESTA - PALM BEACH COUNTY - STATE OF FLORIDA EXISTING BUILDING: 1– STORY DETACHED SINGLE–FAMILY RESIDENCE (FBC RESIDENTIAL APPLICABLE) PROJECT CLASSIFICATION: LEVEL 2 ALTERATION (SEE COVER SHEET FOR COMPLETE CODE / AREA DATA) NOTE: REFER TO COVER SHEET FOR FULL PROJECT INFORMATION, CODE SUMMARY, AREA CALCULATIONS, FIRE PROTECTION DATA, AND SCOPE OF WORK.	

1	GENERAL NOTES / GENERAL DEMOLITION REQUIREMENTS
A-100	SCALE

GENERAL DEMOLITION REQUIREMENTS	
1. PERMITS & APPROVALS: OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM THE VILLAGE OF TEQUESTA (AHJ) PRIOR TO START OF WORK. POST APPROVED PERMIT DOCUMENTS ON SITE AS REQUIRED. CONTRACTOR SHALL OBTAIN ANY REQUIRED COUNTY SOLID WASTE / HAULING AUTHORIZATIONS AND HOA APPROVALS, IF APPLICABLE. 2. CODE COMPLIANCE: ALL DEMOLITION AND RELATED WORK SHALL COMPLY WITH THE 2023 FLORIDA BUILDING CODE (8TH EDITION), INCLUDING APPLICABLE PROVISIONS OF FBC–EXISTING BUILDING, FBC–RESIDENTIAL, FBC–PLUMBING, FBC–MECHANICAL, FBC–ELECTRICAL, NEC (NFPA 70), FLORIDA FIRE PREVENTION CODE, OSHA REQUIREMENTS, AND ALL AHJ ORDINANCES AND INSPECTION REQUIREMENTS. 3. PRE–DEMOLITION FIELD VERIFICATION: FIELD–VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION, INCLUDING WALL TYPES, UTILITY LOCATIONS, CEILING CONDITIONS, AND EXTERIOR WALL/CMU CONDITIONS. VERIFY ALL WALLS SCHEDULED FOR DEMOLITION ARE NON–LOAD–BEARING PRIOR TO REMOVAL. NOTIFY DESIGN PROFESSIONAL OF ANY CONFLICTS OR UNFORESEEN CONDITIONS BEFORE PROCEEDING. 4. PROTECTION OF EXISTING CONSTRUCTION: PROTECT ALL AREAS, FINISHES, EQUIPMENT, AND SYSTEMS TO REMAIN. MAINTAIN WEATHER–TIGHT CONDITIONS AT EXTERIOR WALLS AND WINDOW OPENINGS DURING DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY WEATHER PROTECTION AS REQUIRED. 5. DUST / NOISE / SITE CONTROL: PROVIDE DUST CONTAINMENT AND DAILY CLEANUP. ISOLATE WORK AREAS FROM OCCUPIED/UNOCCUPIED AREAS AS REQUIRED TO PREVENT DUST AND DEBRIS MIGRATION. MAINTAIN SAFE ACCESS AND EGRESS PATHS FREE OF DEBRIS. CONTROL NOISE AND VIBRATION DURING DEMOLITION OPERATIONS. 6. HAZARDOUS MATERIALS: EXISTING HOUSE WAS CONSTRUCTED IN 1963. IF SUSPECTED ASBESTOS–CONTAINING MATERIALS (ACM), LEAD–BASED PAINT (LBP), MOLD, OR OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND NOTIFY OWNER/AHJ. ABATEMENT/REMEDIATION SHALL BE PERFORMED BY LICENSED/CERTIFIED CONTRACTORS AS REQUIRED BY APPLICABLE REGULATIONS. 7. WASTE HANDLING / DISPOSAL: REMOVE, HANDLE, AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF SITE. KEEP SITE CLEAN AND FREE OF ACCUMULATED DEBRIS. CONTRACTOR SHALL PROTECT ADJACENT PROPERTY AND PUBLIC RIGHT–OF–WAY FROM DUST, TRACK–OUT, AND DAMAGE. 8. SELECTIVE INTERIOR DEMOLITION: DEMOLITION IS LIMITED TO AREAS SHOWN ON THE PERMITTED DEMOLITION PLANS. REMOVE NON–LOAD–BEARING PARTITIONS, DOORS, CLOSETS, FIXTURES, CABINETS, FLOOR FINISHES, AND RELATED MATERIALS ONLY AS REQUIRED FOR THE NEW WORK. AREAS NOT SHOWN FOR DEMOLITION SHALL REMAIN IN PLACE AND UNALTERED. 9. EXTERIOR WALL / WINDOW OPENING DEMOLITION: PERFORM SELECTIVE DEMOLITION OF WINDOW OPENINGS AND ASSOCIATED CMU WORK ONLY AS SHOWN ON PLANS. COORDINATE ALL CMU INFILL, NEW OPENINGS, LINTELS, JAMBS, SILLS, AND REINFORCEMENT WITH STRUCTURAL DRAWINGS. LOCATE AND PROTECT CONCEALED UTILITIES PRIOR TO CUTTING. PROVIDE TEMPORARY BRACING/SHORING AS REQUIRED. 10. MEP DEMOLITION / MODIFICATION COORDINATION: DEMOLITION SHALL BE COORDINATED WITH NEW MEP WORK IN ALTERED AREAS. REMOVE/RELOCATE ONLY THOSE ELECTRICAL DEVICES, BRANCH DUCTS/GRILLES, AND PLUMBING COMPONENTS REQUIRED FOR THE APPROVED NEW LAYOUT. EXISTING MAIN HVAC EQUIPMENT, EXISTING ELECTRICAL SERVICE/PANEL, AND SYSTEMS IN NON–ALTERED AREAS SHALL REMAIN IN PLACE UNLESS NOTED OTHERWISE. 11. FLOORING DEMOLITION: REMOVE EXISTING FLOOR FINISHES AND ASSOCIATED SETTING MATERIALS IN PERMITTED WORK AREAS AS SHOWN FOR NEW TILE INSTALLATION. PREPARE SUBSTRATE TO RECEIVE NEW FINISHES. PROTECT ALL ADJACENT AREAS TO REMAIN. 12. FAMILY / FLORIDA ROOM–LIMITED SCOPE WORK IN THE FAMILY / FLORIDA ROOM IS LIMITED TO FLOOR FINISH DEMOLITION AND NEW FLOOR FINISH INSTALLATION ONLY, AS SHOWN. NO WALL DEMOLITION, NO WINDOW MODIFICATIONS, AND NO ELECTRICAL, PLUMBING, OR HVAC MODIFICATIONS ARE INCLUDED IN THAT AREA UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PERMITTED PLANS. 13. INSPECTIONS / CLOSEOUT: SCHEDULE REQUIRED INSPECTIONS WITH THE AHJ. DO NOT COVER NEW WORK OR CLOSE DISTURBED AREAS UNTIL REQUIRED INSPECTIONS ARE APPROVED. RESTORE TEMPORARY PROTECTIONS, CLEAN SITE, AND LEAVE SYSTEMS DISTURBED BY DEMOLITION IN A SAFE, CODE–COMPLIANT CONDITION FOR RECONNECTION/NEW WORK.	

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REVISIONS	

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PE# 37369	
CA# 28476	
	

GENERAL NOTES / DEMOLITION REQ.	PROJECT	GEROME CHIRCO RESIDENCE 360 SATURN AVENUE, TEQUESTA, FL 33469
CLIENT	PERMITTING & CONSTRUCTION SERVICES	MIAMI, FL 33132

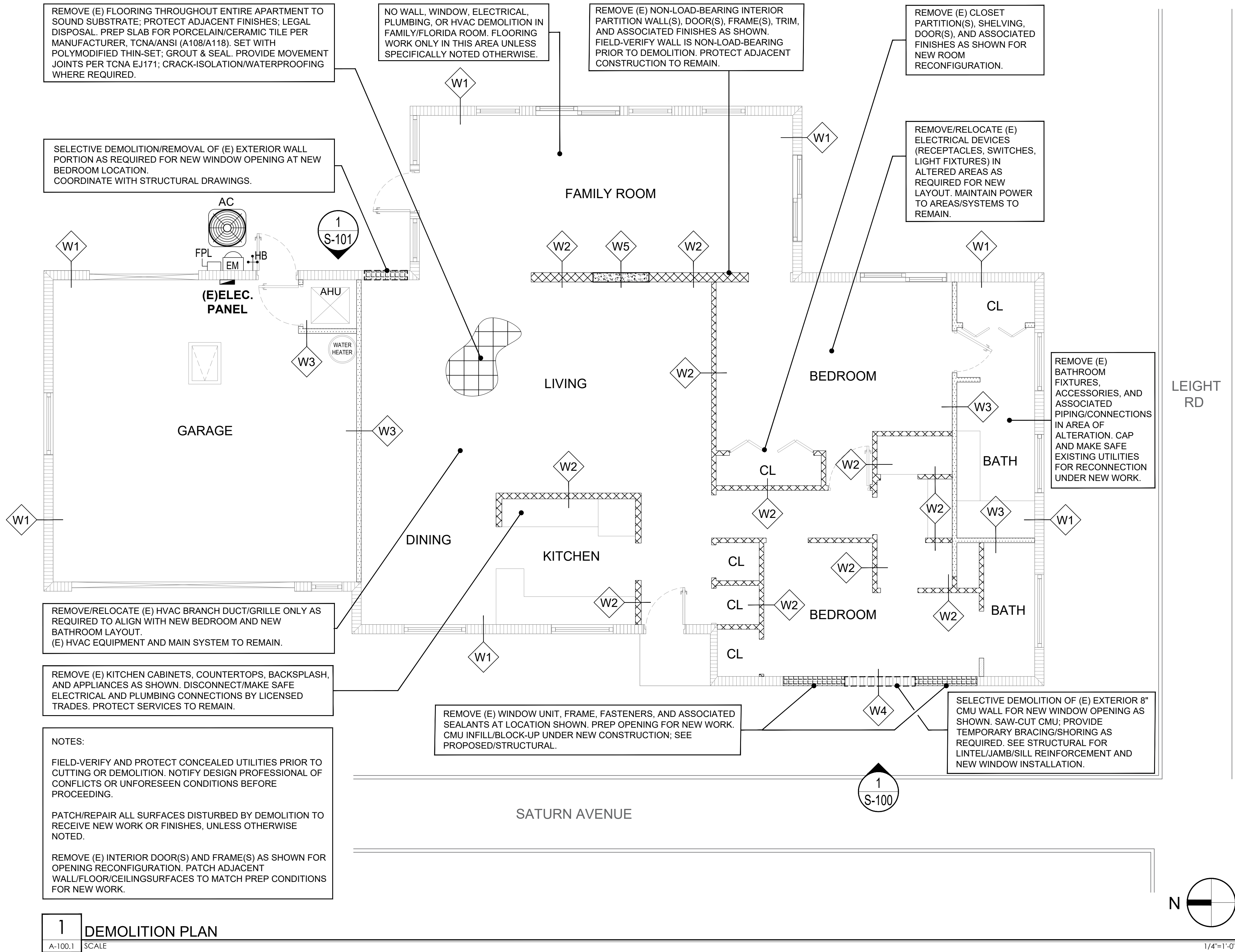
DATE	02-26-2026
SCALE	N.T.S.
DRAWN	AA
CHECKED BY	JRO
PROJECT	26-021

DRAWING NO.
SD26-021

SHEET
A-100

N.T.S.

DEMO PLAN – WALL TAG SCHEDULE				
TAG	PATTERN	DESCRIPTION / LOCATION	ASSEMBLY SPECIFICATION	REMARKS
W1		EXISTING EXTERIOR / PERIMETER WALLS (TYP.)	EXISTING EXTERIOR WALL (TYP.) – VERIFY MATERIAL/THICKNESS IN FIELD	PROTECT IN PLACE; NO DEMOLITION EXCEPT WHERE SPECIFIC WINDOW OPENING MODIFICATION IS SHOWN
W2		EXISTING INTERIOR PARTITIONS TO BE REMOVED	EXISTING INTERIOR PARTITION (TYP.) – WOOD/METAL STUD W/ GWB (VERIFY)	REMOVE COMPLETE WALL/PARTITION AS SHOWN; FIELD-VERIFY NON-LOAD-BEARING BEFORE REMOVAL
W3		EXISTING INTERIOR WALLS TO REMAIN	EXISTING INTERIOR WALL (TYP.) – VERIFY IN FIELD	PROTECT IN PLACE; PATCH ONLY WHERE AFFECTED BY ADJACENT SELECTIVE DEMO SELECTIVE DEMOLITION ONLY AS SHOWN; COORDINATE WITH NEW WORK; DO NOT OVER-DEMO
W4		EXTERIOR CMU WALLS – WINDOW OPENING INFILL / NEW OPENING / MODIFICATION	EXISTING 8" CMU WALL (VERIFY) – SEE STRUCTURAL FOR LINTEL/JAMB/SILL/REINFORCEMENT	SAW-CUT/DEMO CMU AS REQUIRED; PROVIDE TEMPORARY SHORING IF REQUIRED; COORDINATE STRUCTURAL DETAILS; LOCATE/PROTECT CONCEALED UTILITIES
W5		EXISTING LOAD-BEARING / STRUCTURAL WALLS TO REMAIN	EXISTING STRUCTURAL WALL – TYPE TBD BY EOR	DO NOT DEMOLISH OR CUT WITHOUT STRUCTURAL APPROVAL; COORDINATE ANY OPENINGS WITH EOR AND STRUCTURAL SHEETS



REVISIONS	

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CA# 28476

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LICENSED PROFESSIONAL ENGINEER
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FLORIDA
WIMAL SUARIS

DEMOLITION PLAN

PROJECT: GEROME CHIRCO RESIDENCE
360 SATURN AVENUE, TEQUESTA, FL 33469

CLIENT: PERMITTING & CONSTRUCTION SERVICES
MIAMI, FL 33132

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DRAWN	AA
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SHEET
A-100.1

SCOPE OF WORK – PROPOSED FLOOR PLAN

- INTERIOR PARTITIONS (NEW WORK):
CONSTRUCT NEW NON–LOAD–BEARING INTERIOR PARTITION WALLS AS SHOWN TO RECONFIGURE BEDROOM, BATHROOM, AND KITCHEN LAYOUTS. NEW PARTITIONS SHALL BE PER PROPOSED WALL TAG SCHEDULE (W6 / W7 / W8 / W9, AS APPLICABLE). COORDINATE WALL THICKNESSES, DOOR ROUGH OPENINGS, AND MEP ROUTING PRIOR TO FRAMING. NO NEW STRUCTURAL INTERIOR WALLS ARE INCLUDED.
- BEDROOM RECONFIGURATION / NEW BEDROOM:
PROVIDE NEW BEDROOM CONFIGURATION AS SHOWN, INCLUDING NEW PARTITIONS, CLOSET FRAMING, AND DOOR OPENINGS. VERIFY ALL DIMENSIONS IN FIELD AND COORDINATE WITH ELECTRICAL OUTLET/SMOKE–CO LOCATIONS PER ELECTRICAL PLANS.
- NEW BATHROOM (NEW WORK):
CONSTRUCT NEW BATHROOM AS SHOWN, INCLUDING NEW PARTITIONS, NEW PLUMBING FIXTURES, NEW SANITARY/VENT PIPING, NEW WATER SUPPLY PIPING, AND NEW ELECTRICAL/EXHAUST FAN ROUGH–IN PER APPROVED MEP PLANS. PROVIDE REQUIRED CLEARANCES AT FIXTURES AND COORDINATE ROUGH–IN LOCATIONS PRIOR TO SLAB CUT/UNDER–SLAB WORK (IF REQUIRED).
- BATHROOMS (RECONFIGURED):
PROVIDE NEW BATHROOM LAYOUTS AS SHOWN (EXISTING BATHROOMS TO BE ENLARGED/RECONFIGURED). INSTALL NEW/RELOCATED PLUMBING FIXTURES AND ASSOCIATED ROUGH–IN PER APPROVED PLUMBING PLANS. COORDINATE TILE/WET WALLS PER W8 WHERE APPLICABLE.
- KITCHEN REMODEL (PROPOSED):
INSTALL NEW KITCHEN LAYOUT AS SHOWN, INCLUDING NEW CABINETRY, COUNTERTOPS, BACKSPLASH, AND ISLAND CONFIGURATION. COORDINATE ALL APPLIANCE ROUGH–IN REQUIREMENTS, ELECTRICAL CIRCUITS, LIGHTING, AND PLUMBING CONNECTIONS PER APPROVED MEP PLANS. VERIFY FINAL CABINET SHOP DRAWINGS PRIOR TO ROUGH–IN.
- FLOOR FINISHES (PROPOSED):
INSTALL NEW CERAMIC/PORCELAIN TILE FLOORING IN PERMITTED WORK AREAS AS SHOWN, INCLUDING FAMILY/FLORIDA ROOM FLOORING AREA. PREP SUBSTRATE TO SOUND, LEVEL CONDITION. INSTALL TILE PER MANUFACTURER REQUIREMENTS AND TCNA/ANSI (A108/A118). PROVIDE MOVEMENT JOINTS PER TCNA EJ171. PROVIDE CRACK–ISOLATION / WATERPROOFING WHERE REQUIRED BY SUBSTRATE CONDITIONS OR WET–AREA APPLICATION.
- DOORS / OPENINGS:
PROVIDE NEW/RELOCATED INTERIOR DOORS, FRAMES, AND HARDWARE AS SHOWN. VERIFY ROUGH OPENINGS AND SWING/CLEARANCES PRIOR TO FRAMING. COORDINATE DOOR LOCATIONS WITH FIXTURE CLEARANCES AND REQUIRED ACCESS/EGRESS PATHS.
- WINDOW WORK / EXTERIOR WALL WORK (PROPOSED):
 - INFILL (2) EXISTING FRONT BEDROOM WINDOW OPENINGS WITH CMU, AS SHOWN.
 - PROVIDE (1) NEW CENTERED WINDOW OPENING AT FRONT BEDROOM AND INSTALL NEW WINDOW, AS SHOWN.
 - PROVIDE (1) NEW WINDOW OPENING AT NEW BEDROOM ADJACENT TO GARAGE AND INSTALL NEW WINDOW, AS SHOWN.ALL CMU INFILL, NEW OPENINGS, LINTELS, JAMBS, SILLS, REINFORCEMENT, AND ANCHORAGE SHALL BE PER STRUCTURAL DRAWINGS. ALL WINDOWS SHALL COMPLY WITH APPROVED PRODUCT APPROVALS AND INSTALLATION REQUIREMENTS.
- ELECTRICAL (PROPOSED):
PROVIDE NEW/RELOCATED RECEPTACLES, SWITCHES, AND LIGHTING IN ALTERED AREAS PER APPROVED ELECTRICAL PLANS AND CODE REQUIREMENTS. PROVIDE RECEPTACLES AT EACH SIDE OF BEDS IN BEDROOMS. PROVIDE (4) SPOT/RECESSED LIGHTS IN EACH BEDROOM AND LIGHT FIXTURE ABOVE KITCHEN ISLAND, AS SHOWN. EXISTING 200A PANEL TO REMAIN; NO SERVICE UPGRADE IS INCLUDED UNLESS SPECIFICALLY NOTED. PROVIDE REQUIRED AFCI/GFCI PROTECTION PER CODE IN ALTERED AREAS.
- MECHANICAL / HVAC (PROPOSED):
EXISTING HVAC EQUIPMENT (CONDENSER, AIR HANDLER, AND MAIN SYSTEM) TO REMAIN. RELOCATE ONLY THOSE SUPPLY/RETURN GRILLES/BRANCH DUCT RUNS NECESSARY TO SERVE THE NEW BEDROOM AND NEW BATHROOM LAYOUTS, AS SHOWN ON MECHANICAL PLANS. EXISTING GRILLES IN NON–ALTERED AREAS TO REMAIN. PROVIDE NEW BATHROOM EXHAUST FAN DUCTED TO EXTERIOR (NO DISCHARGE TO ATTIC) PER MECHANICAL PLANS.
- PLUMBING ROUTING –CMU LIMITATION (COORDINATION NOTE):
DO NOT CREATE CONTINUOUS CHASES IN EXISTING CMU WALLS FOR NEW PLUMBING ROUTING. ROUTE NEW PLUMBING IN NEW INTERIOR PARTITIONS/CHASE WALLS (SEE W7) AND/OR UNDER SLAB AS REQUIRED. ANY CMU PENETRATIONS SHALL BE CORE–DRILLED, SLEEVED, SEALED, AND PATCHED TO MAINTAIN WEATHER–TIGHTNESS. CMU CUTTING BEYOND LOCALIZED PENETRATIONS SHALL BE PER STRUCTURAL.
- GENERAL COORDINATION / QUALITY CONTROL:
FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. COORDINATE ALL TRADES (ARCH/MEP/STRUCT) PRIOR TO CLOSING WALLS. MAINTAIN WEATHER–TIGHT CONDITIONS AT EXTERIOR OPENINGS. PATCH AND REPAIR ALL DISTURBED SURFACES TO MATCH ADJACENT FINISHES UNLESS OTHERWISE NOTED. REPORT DISCREPANCIES OR UNFORESEEN CONDITIONS TO DESIGN PROFESSIONAL BEFORE PROCEEDING.

NOTE:
WORK IN THE FAMILY/FLORIDA ROOM IS LIMITED TO FLOOR FINISH REMOVAL/REPLACEMENT ONLY, AS SHOWN. NO WALL OR WINDOW WORK AND NO ELECTRICAL/PLUMBING/HVAC MODIFICATIONS ARE INCLUDED IN THAT AREA UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PERMITTED PLANS.

PROJECT INFORMATION

PROPERTY OWNER(S):
D&EA GROUP LLC

PROJECT ADDRESS:
360 SATURN AVE, TEQUESTA, FL

FOLIO / PARCEL CONTROL NUMBER:
60–43–40–30–04–036–0080

JURISDICTION:
• VILLAGE OF TEQUESTA
• PALM BEACH COUNTY
• STATE OF FLORIDA

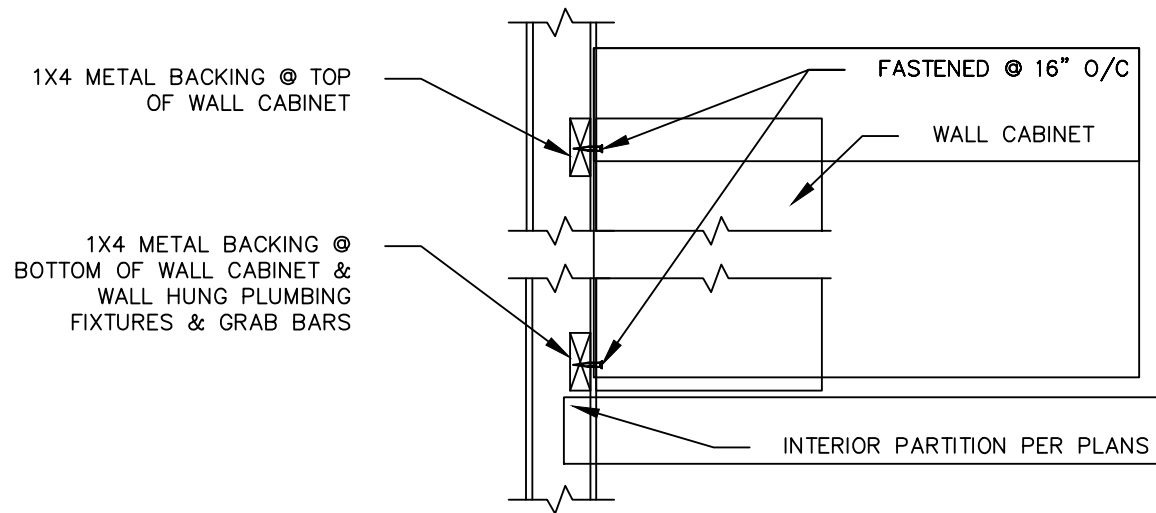
EXISTING BUILDING:
1– STORY DETACHED SINGLE–FAMILY RESIDENCE (FBC RESIDENTIAL APPLICABLE)

PROJECT CLASSIFICATION:
LEVEL 2 ALTERATION (SEE COVER SHEET FOR COMPLETE CODE / AREA DATA)

NOTE:
REFER TO COVER SHEET FOR FULL PROJECT INFORMATION, CODE SUMMARY, AREA CALCULATIONS, FIRE PROTECTION DATA, AND SCOPE OF WORK.

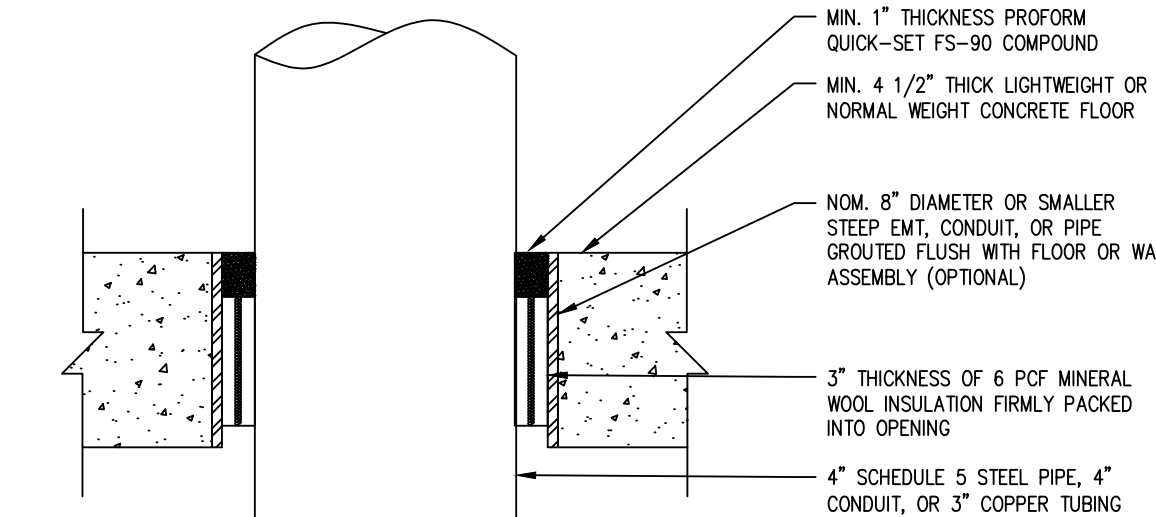
GENERAL PROPOSED WORK REQUIREMENTS

- PERMITS & APPROVALS:
CONSTRUCT ONLY THE WORK SHOWN ON THE APPROVED PERMITTED PLANS. POST APPROVED PERMIT DOCUMENTS ON SITE AS REQUIRED. CONTRACTOR SHALL OBTAIN ANY REQUIRED COUNTY AUTHORIZATIONS AND HOA APPROVALS, IF APPLICABLE.
- CODE COMPLIANCE:
ALL NEW WORK SHALL COMPLY WITH THE 2023 FLORIDA BUILDING CODE (8TH EDITION) AND APPLICABLE PROVISIONS OF FBC–EXISTING BUILDING / FBC–RESIDENTIAL, FBC–PLUMBING, FBC–MECHANICAL, FBC–ELECTRICAL, NEC (NFPA 70), FLORIDA FIRE PREVENTION CODE, AND ALL AHJ ORDINANCES AND INSPECTION REQUIREMENTS.
- FIELD VERIFICATION / DIMENSIONS:
FIELD–VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS. NOTIFY DESIGN PROFESSIONAL OF DISCREPANCIES OR UNFORESEEN CONDITIONS BEFORE PROCEEDING.
- WORK LIMITS / AREAS OUTSIDE SCOPE:
WORK IS LIMITED TO THE PERMITTED ALTERATION AREA(S) SHOWN. AREAS NOT SPECIFICALLY SHOWN AS NEW WORK OR MODIFICATION SHALL REMAIN IN PLACE AND UNALTERED.
- PROTECTION / WEATHER–TIGHTNESS:
PROTECT ALL EXISTING CONSTRUCTION, FINISHES, AND SYSTEMS TO REMAIN. MAINTAIN WEATHER–TIGHT CONDITIONS AT EXTERIOR WALLS AND ALL WINDOW OPENINGS DURING CONSTRUCTION. PROVIDE TEMPORARY WEATHER PROTECTION AS REQUIRED.
- COORDINATION (ARCH / STRUCT / MEP):
COORDINATE ALL ROUGH–IN AND INSTALLATIONS AMONG TRADES PRIOR TO CLOSING WALLS/CEILINGS OR INSTALLING FINISHES. VERIFY DEVICE/GRILLE/PLUMBING LOCATIONS PRIOR TO FRAMING AND TILE WORK. DO NOT OBSTRUCT REQUIRED ELECTRICAL WORKING CLEARANCES.
- WALL TYPES / FRAMING:
ALL NEW PARTITIONS SHALL BE PER PROPOSED WALL TAG SCHEDULE (W6 / W7 / W8 / W9, AS APPLICABLE). PROVIDE REQUIRED BLOCKING FOR CABINETRY, GRAB BARS/ACCESSORIES (WHERE APPLICABLE), AND WALL–MOUNTED ITEMS. MAINTAIN STRAIGHT, PLUMB, AND TRUE WALLS; COORDINATE DOOR ROUGH OPENINGS PRIOR TO INSTALLATION.
- CMU WALL WORK (INFILL / NEW OPENINGS):
ALL CMU INFILL/CLOSURE AND ALL NEW/ENLARGED OPENINGS SHALL BE PER STRUCTURAL DRAWINGS, INCLUDING LINTELS, JAMBS, SILLS, REINFORCEMENT, GROUT, AND ANCHORAGE. RESTORE INTERIOR/EXTERIOR FINISHES TO MATCH AND MAINTAIN WRB/STUCCO CONTINUITY WHERE APPLICABLE.
- WINDOWS / PRODUCT APPROVAL:
INSTALL ALL NEW/REPLACEMENT WINDOWS PER APPROVED PRODUCT APPROVALS AND MANUFACTURER INSTALLATION INSTRUCTIONS. VERIFY ROUGH OPENINGS, ANCHORAGE, AND SEALANT REQUIREMENTS PRIOR TO INSTALLATION. MAINTAIN WEATHER–TIGHT SEALS AT PERIMETERS.
- FLOOR FINISH INSTALLATION:
INSTALL NEW CERAMIC/PORCELAIN TILE PER MANUFACTURER REQUIREMENTS AND TCNA/ANSI (A108/A118). PREP SUBSTRATE TO SOUND, CLEAN, AND LEVEL CONDITION. PROVIDE MOVEMENT JOINTS PER TCNA EJ171. PROVIDE CRACK ISOLATION / WATERPROOFING MEMBRANES WHERE REQUIRED BY SUBSTRATE CONDITIONS OR WET–AREA APPLICATION.
- PLUMBING INSTALLATION / ROUTING:
INSTALL NEW PLUMBING PER APPROVED PLUMBING PLANS. PROVIDE PROPER VENTING AND SLOPES AS REQUIRED. DO NOT CREATE CONTINUOUS CHASES IN EXISTING CMU FOR NEW PLUMBING ROUTING; ROUTE NEW PIPING IN NEW INTERIOR PARTITIONS/CHASE WALLS (W7) AND/OR UNDER SLAB AS REQUIRED. PROVIDE STRIKE PLATES/PROTECTION WHERE PIPING IS SUBJECT TO DAMAGE.
- MECHANICAL / EXHAUST:
EXISTING HVAC EQUIPMENT TO REMAIN U.N.O. RELOCATE GRILLES/BRANCH DUCTS ONLY WHERE SPECIFICALLY SHOWN. BATHROOM EXHAUST FAN SHALL DISCHARGE TO EXTERIOR (NO DISCHARGE TO ATTIC). SEAL ALL DUCT JOINTS AND PENETRATIONS.
- ELECTRICAL INSTALLATION:
INSTALL NEW/RELOCATED ELECTRICAL DEVICES AND LIGHTING IN ALTERED AREAS PER APPROVED ELECTRICAL PLANS. PROVIDE AFCI/GFCI PROTECTION WHERE REQUIRED. ALL JUNCTION BOXES SHALL REMAIN ACCESSIBLE; NO BURIED BOXES.
- PENETRATIONS / FIRE– AND SMOKE–SEALING:
SEAL ALL PENETRATIONS THROUGH WALLS/CEILINGS WITH APPROVED MATERIALS. MAINTAIN THE INTEGRITY OF ANY EXISTING FIRE/SMOKE RESISTANCE FEATURES WHERE PRESENT AND RESTORE DISTURBED AREAS TO MATCH.
- LIVING ROOM –LIMITED SCOPE:
WORK IN THIS AREA IS LIMITED TO FLOOR FINISH INSTALLATION ONLY, AS SHOWN. NO OTHER WORK IN THIS AREA UNLESS NOTED.
- INSPECTIONS / CLOSEOUT:
SCHEDULE REQUIRED INSPECTIONS WITH THE AHJ. DO NOT COVER NEW WORK UNTIL REQUIRED INSPECTIONS ARE APPROVED. CLEAN THE SITE, REMOVE TEMPORARY PROTECTIONS, AND LEAVE ALL SYSTEMS IN A SAFE, CODE–COMPLIANT OPERATING CONDITION.



A MINIMUM 1”X4” HORIZONTAL METAL MEMBER, SECURELY FASTENED TO NOT LESS THAN 2 STUDS @ 16” O/C, SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH WALL HUNG CABINET & PLUMBING FIXTURE.

TYP. CABINET BACKING DETAIL
SCALE: N.T.S.



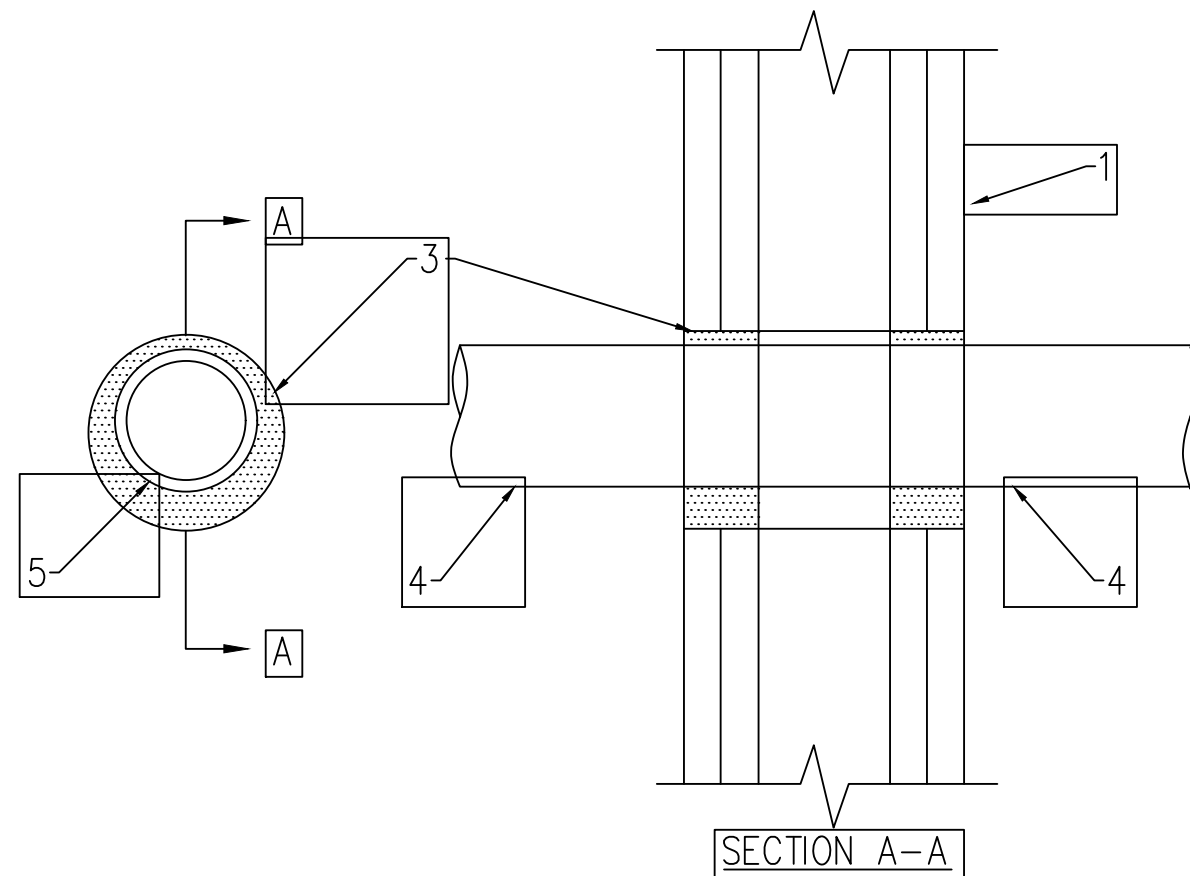
FLOOR PENETRATION
F-RATING – 3 HR
T-RATING – 0 HR
UL DESIGN: C-AJ-1163

PIPE PENETRATION THROUGH FLOOR

UL SYSTEM NO. W–L–2128

PLASTIC PIPE THROUGH GYPSUM WALL ASSEMBLY

F–RATING = 1–HR AND 2–HR
T–RATING = 0–HR



- GYPSUM WALL ASSEMBLY (U.L. SERIES) (1–HR OR 2–HR FIRE RATING)
- (NOT SHOWN) WALL STUD ASSEMBLY
- OPTIONAL: SHEET METAL PIPE SLEEVE (MAXIMUM 3–1/2” DIAMETER MINIMIM 28 GA THICKNESS)
- MAX. 2” NOMINAL DIAMETER PVC OR CPVC PLASTIC PIPE (CLOSED OR VENTED PIPE SYSTEM)
- HILTI FS–ONE INTUMESCENT FIRESTOP SEALANT:
 - MINIMUM 3/8” DEPTH FOR 1–HR FIRE RATING
 - MINIMUM 1/2” DEPTH FOR 1–HR FIRE RATING

NOTE: ANNULAR SPACE = MINIMUM 1/4”, MAXIMUM 1/16”

1 PROPOSED NOTES / GENERAL PROPOSED WORK REQUIREMENTS

A-101 SCALE

N.T.S.

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mailing@dlgenengineering.com

REVISIONS

NO.	DESCRIPTION	DATE

WIMAL SUARIS, P.E.
PE# 37369
CA# 28476



ROPOSED WORK NOTES & GENERAL REQs.

CLIENT: PERMITTING & CONSTRUCTION SERVICES
PROJECT: GEROME CHIRCO RESIDENCE
360 SATURN AVENUE, TEQUESTA, FL 33469
MIAMI, FL 33132

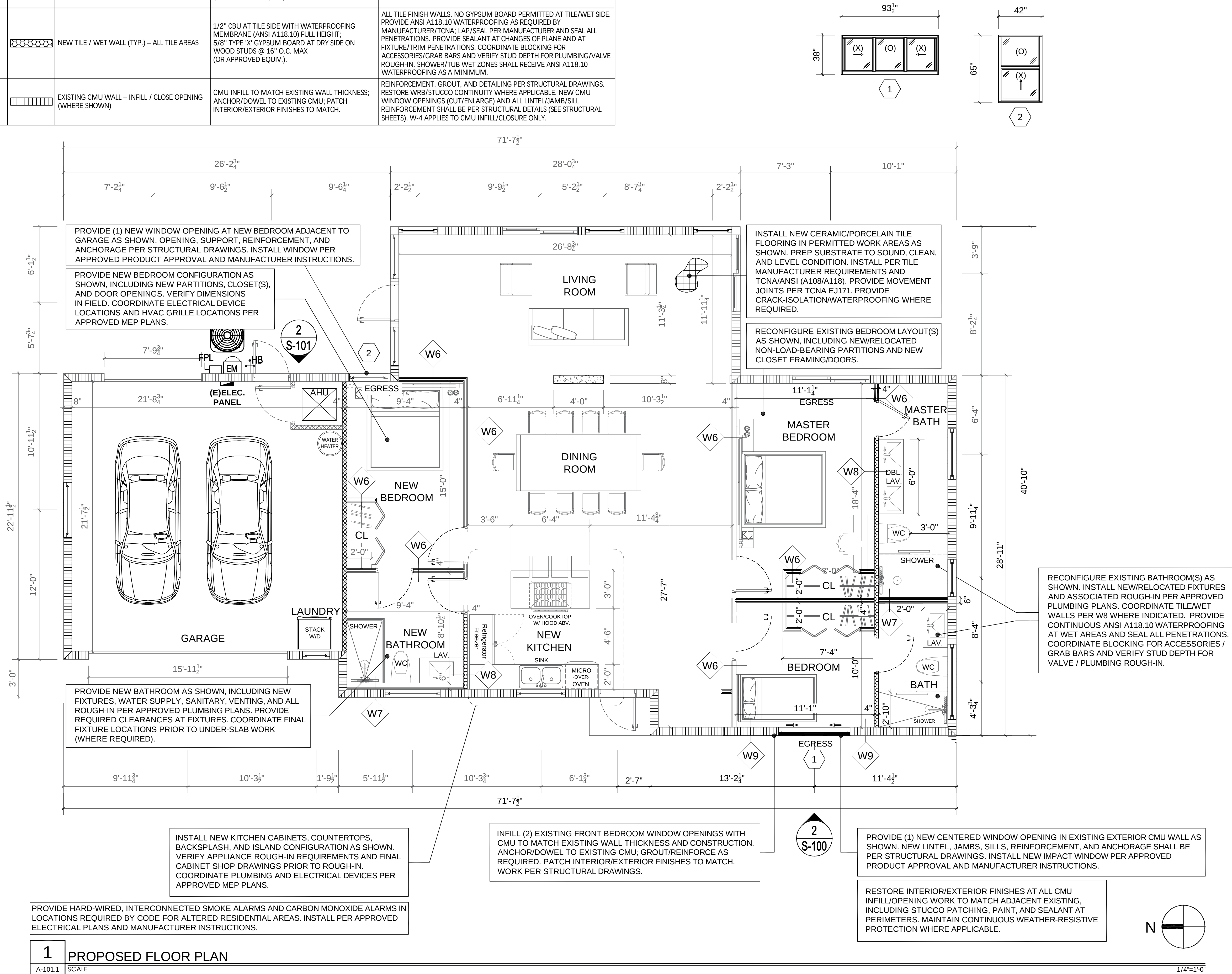
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DRAWN: AA
CHECKED BY: JRO
PROJECT: 26-021

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SD26-021

SHEET
A-101

PROPOSED WALL TAG SCHEDULE				
TAG	PATTERN	DESCRIPTION / LOCATION	ASSEMBLY SPECIFICATION	REMARKS
W6		NEW INTERIOR PARTITION WALL (TYP.) – Bedrooms / closets / non-wet areas	5/8" TYPE "X" GWB BOTH SIDES ON WOOD STUDS @ 16" O.C. MAX. (OR APPROVED EQUIV.).	TYPICAL NEW NON-LOAD-BEARING PARTITION IN DRY AREAS. TAPE/FINISH/PAINT; PROVIDE BLOCKING AS REQUIRED. WALLS BETWEEN GARAGE AND HABITABLE AREAS SHALL MAINTAIN REQUIRED GARAGE SEPARATION ASSEMBLY; SEAL PENETRATIONS; GWB AT GARAGE SIDE AS REQUIRED.
W7		NEW INTERIOR PLUMBING PARTITION WALL (TYP.) – Bathrooms (non-shower wet zones)	5/8" TYPE "X" GWB DRY SIDE; MR GYPSUM BOARD (OR 5/8" TYPE "X" WHERE PREFERRED) AT BATH SIDE OUTSIDE DIRECT WET AREAS; WOOD STUDS (DEPTH AS REQUIRED FOR PLUMBING) @ 16" O.C. MAX (OR APPROVED EQUIV.).	USE WHERE PLUMBING/VENTS REQUIRE ADDED CAVITY DEPTH. PROVIDE SOLID BLOCKING FOR ACCESSORIES/GRAB BARS WHERE REQUIRED.
W8		NEW TILE / WET WALL (TYP.) – ALL TILE AREAS	1/2" CBU AT TILE SIDE WITH WATERPROOFING MEMBRANE (ANSI A118.10) FULL HEIGHT; 5/8" TYPE "X" GYPSUM BOARD AT DRY SIDE ON WOOD STUDS @ 16" O.C. MAX (OR APPROVED EQUIV.).	ALL TILE FINISH WALLS. NO GYPSUM BOARD PERMITTED AT TILE/WET SIDE. PROVIDE ANSI A118.10 WATERPROOFING AS REQUIRED BY MANUFACTURER/TCNA; LAP/SEAL PER MANUFACTURER AND SEAL ALL PENETRATIONS. PROVIDE SEALANT AT CHANGES OF PLANE AND AT FIXTURE/TRIM PENETRATIONS. COORDINATE BLOCKING FOR ACCESSORIES/GRAB BARS AND VERIFY STUD DEPTH FOR PLUMBING/VALVE ROUGH-IN. SHOWER/TUB WET ZONES SHALL RECEIVE ANSI A118.10 WATERPROOFING AS A MINIMUM.
W9		EXISTING CMU WALL – INFILL / CLOSE OPENING (WHERE SHOWN)	CMU INFILL TO MATCH EXISTING WALL THICKNESS; ANCHOR/DOWEL TO EXISTING CMU; PATCH INTERIOR/EXTERIOR FINISHES TO MATCH.	REINFORCEMENT, GROUT, AND DETAILING PER STRUCTURAL DRAWINGS. RESTORE WRB/STUCCO CONTINUITY WHERE APPLICABLE. NEW CMU WINDOW OPENINGS (CUT/ENLARGE) AND ALL LINTEL/JAMB/SILL REINFORCEMENT SHALL BE PER STRUCTURAL DETAILS (SEE STRUCTURAL SHEETS). W-4 APPLIES TO CMU INFILL/CLOSURE ONLY.

WINDOW SCHEDULE											
MARK	QTY.	GLASS TYPE	O.A. FRAME SIZE (W x H)	WIND ZONE	DESIGN LOADS PER ASCE 7-22		ALLOWABLE LOADS PER APPROVAL		PRODUCT DESCRIPTION	NOA No. / FL No.	REMARKS
					(+) PSF	(-) PSF	(+) PSF	(-) PSF			
1	1	"G" (Grey 3/16 HS + 0.090 PVB Clear + 3/16 HS)	93 1/2" x 38"	Zone 4	43	-46.6	70	-80	ECO-GUARD SERIES 200 ALUMINUM HORIZONTAL ROLLING WINDOW (L.M.I.)	FL# 40097.2	XOX (1/3-1/3-1/3), Bronze, Full View Grid, Std. Sill, Screen: Yes, Prep: None / Egress: Yes
2	1	"B" (Grey 3/16 HS + 0.090 PVB Clear + 3/16 HS)	42" x 65"	Zone 4	43	-46.6	75	-90	ECO-GUARD SERIES 100 ALUMINUM SINGLE HUNG WINDOW (L.M.I.)	FL# 40096.2	O/X, Equal Lites, Bronze, Full View Grid, Screen: Yes, Prep: None / Egress: Yes



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REVISIONS

WIMAL SUARIS, P.E.
PE# 37369
CA# 28476

WIMAL SUARIS, P.E.
Professional Engineer
No. 37369
CA# 28476

PROPOSED FLOOR PLAN

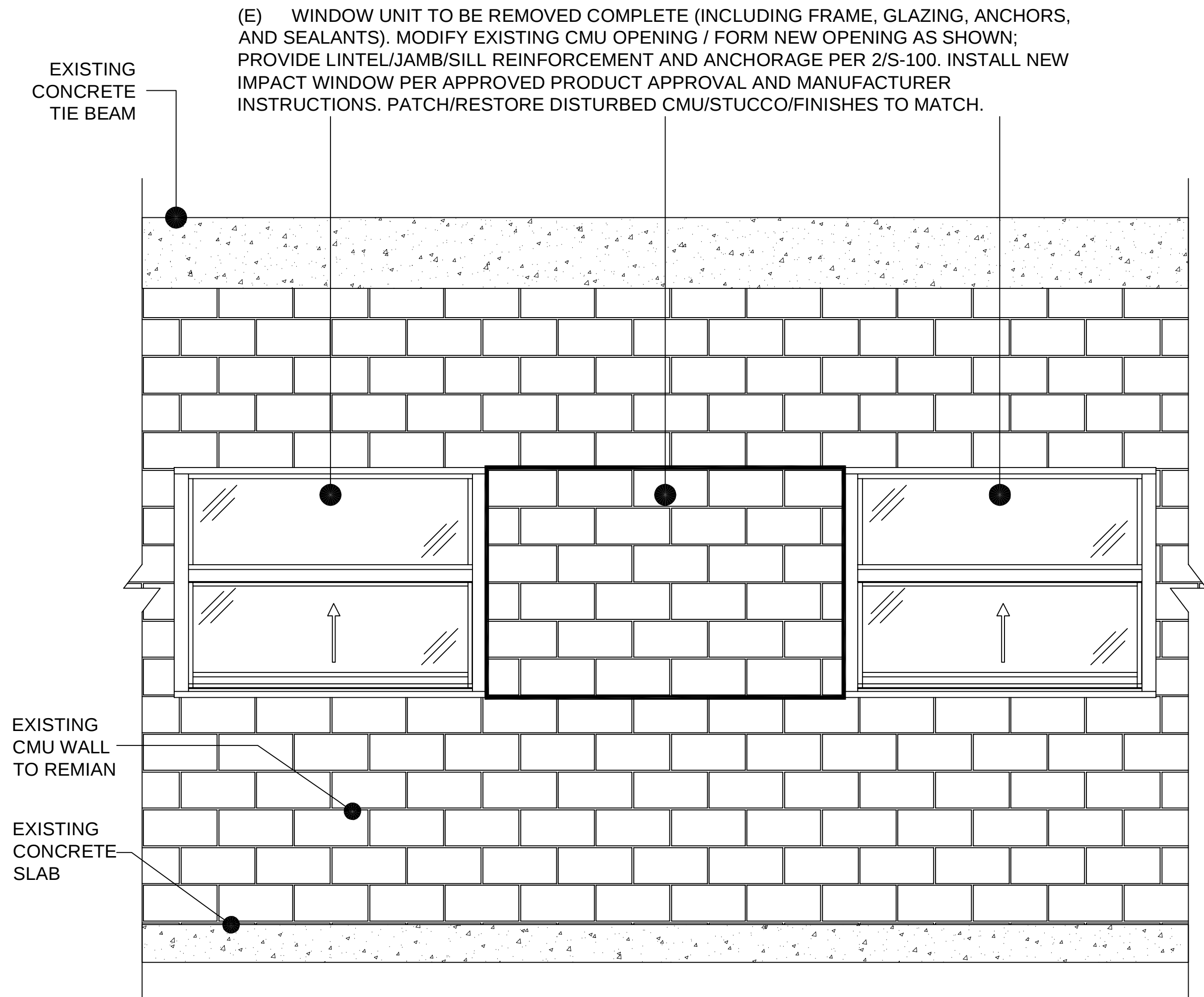
PERMITTING & CONSTRUCTION SERVICES
MIAMI, FL 33132

CLIENT: 360 SATURN AVENUE,
TEQUESTA, FL 33469

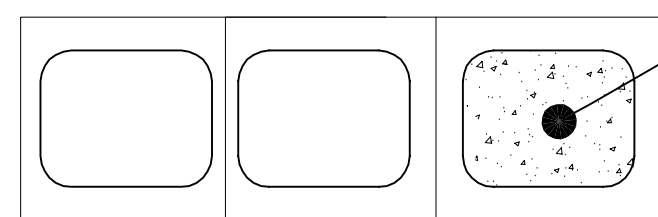
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SCALE	AS NOTED
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PROJECT	26-021

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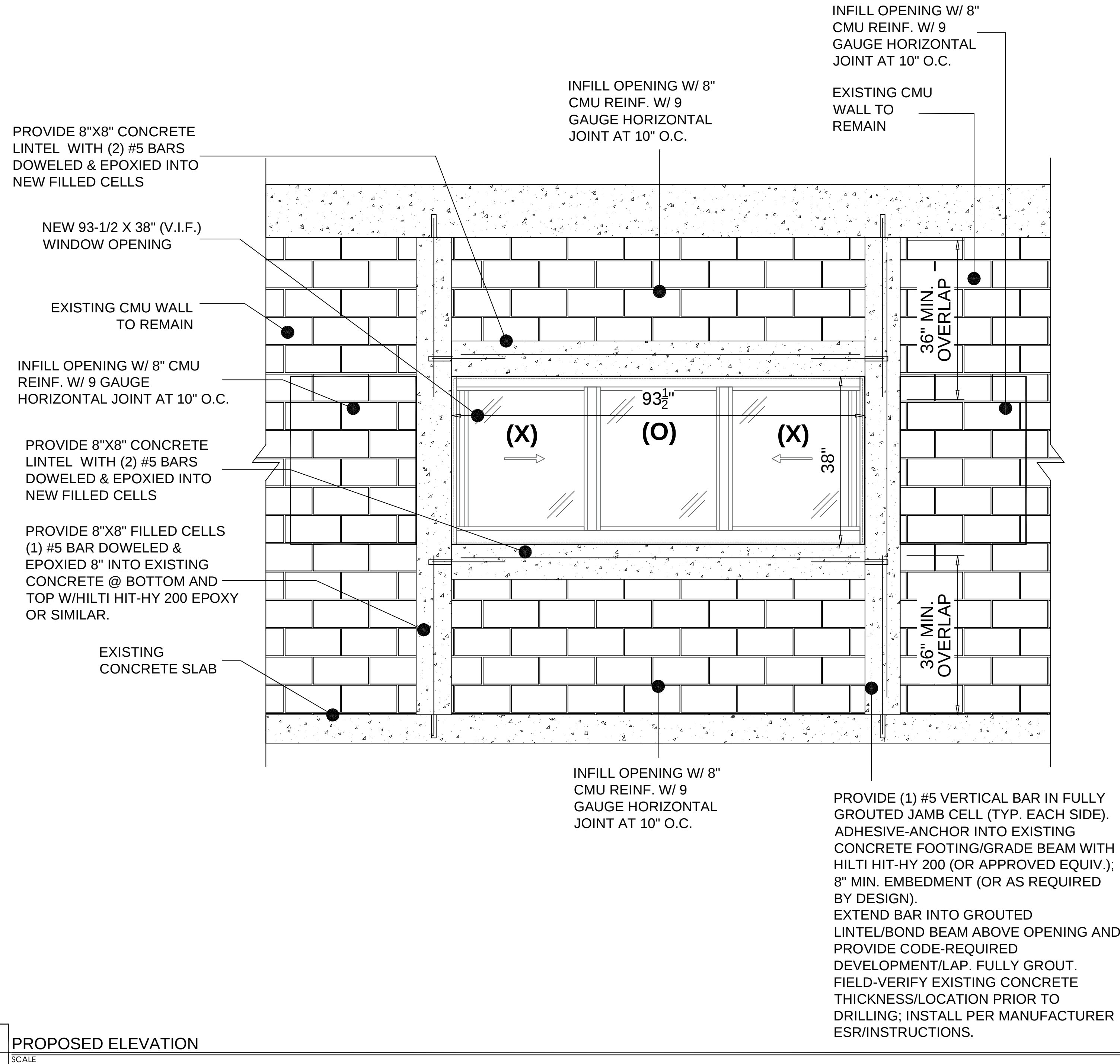
1 EXISTING ELEVATION
S-100 SCALE N.T.S.



IF REQUIRED:
CMU ADJACENT EACH SIDE TO BE FILLED
PROVIDE (1) #5 BAR DOWELED & EPOXIED 5"
INTO EXISTING CONCRETE BEAM @ TOP
& INTO EXISTING FOOTING @ BOTTOM
W/HILTI HIT-HY 200 EPOXY OR SIMILAR.

3 NEW PROPOSED CMU FRAMING DETAIL (IF REQUIRED)
S-100 SCALE N.T.S.

GC SHALL FIELD-VERIFY ALL EXISTING CONDITIONS PRIOR TO INSTALLATION. IF FIELD CONDITIONS DIFFER FROM THE DETAILS SHOWN ON THESE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY DLG ENGINEERING AND SHALL NOT PROCEED WITH INSTALLATION UNTIL WRITTEN DIRECTION/CLARIFICATION IS PROVIDED.



NOTE:
IN THE ABSENCE OF EXISTING STRUCTURAL DRAWINGS, G.C. TO VERIFY NO STRUCTURAL COLUMNS ARE PRESENT IN THIS AREA. IF A STRUCTURAL COLUMN IS FOUND, NOTIFY DLGE IMMEDIATELY TO PROVIDE AN ALTERNATIVE INSTALLATION DETAIL.

2 PROPOSED ELEVATION
S-100 SCALE N.T.S.

REVISIONS

WIMAL SUARIS, P.E.
PE# 37369
CA# 28476



WINDOW MOD.- EXIST./PROP. ELEV. & DET.

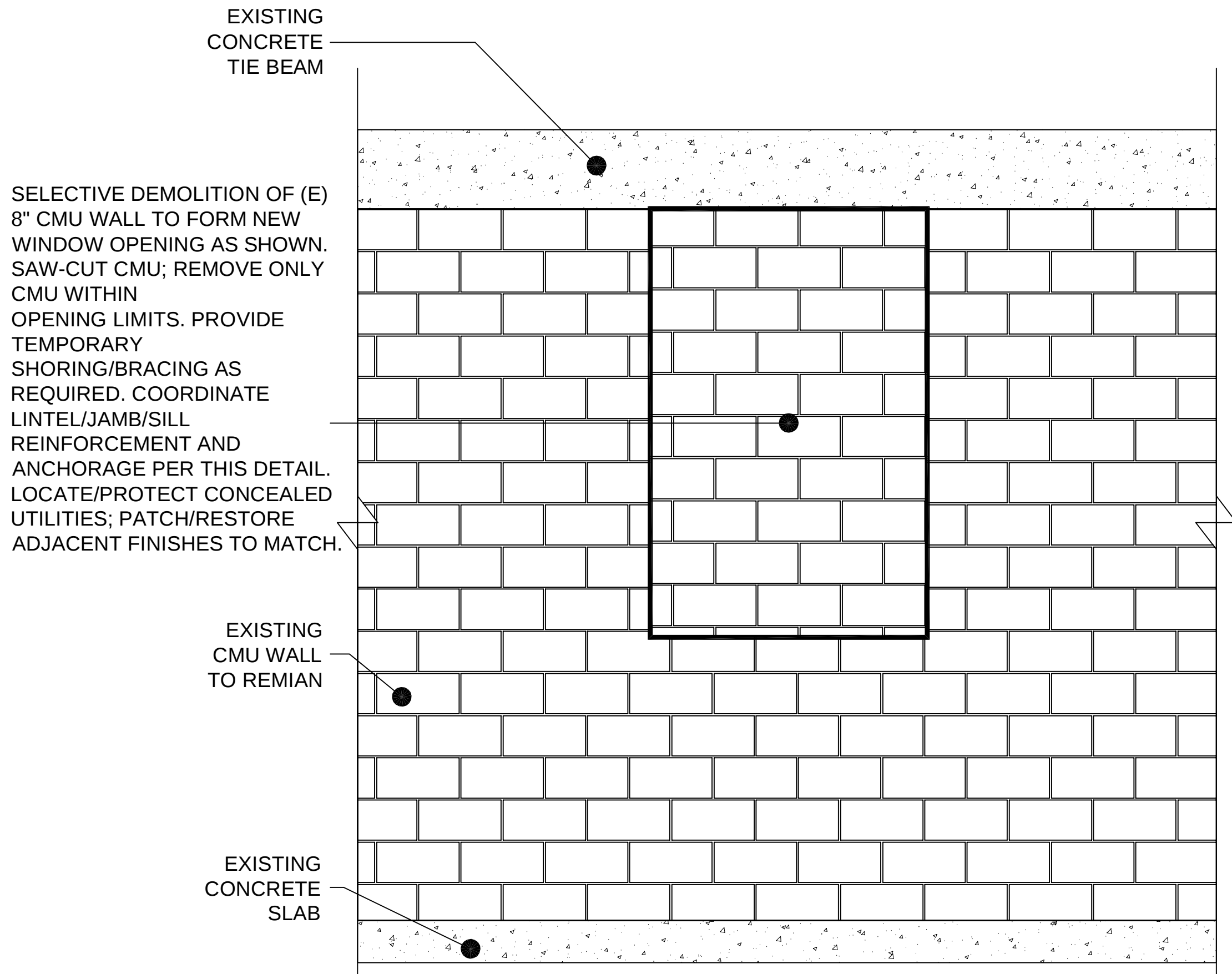
360 SATURN AVENUE,
TEQUESTA, FL 33469

PERMITTING & CONSTRUCTION
SERVICES
MIAMI, FL 33132

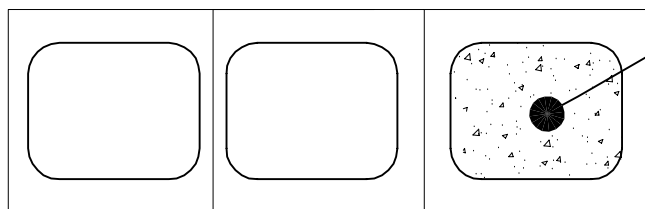
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SD26-021

SHEET
S-100



1 EXISTING ELEVATION
S-101 SCALE N.T.S.



IF REQUIRED:
CMU ADJACENT EACH SIDE TO BE FILLED
PROVIDE (1) #5 BAR DOWELED & EPOXIED 5"
INTO EXISTING CONCRETE BEAM @ TOP
& INTO EXISTING FOOTING @ BOTTOM
W/HILTI HIT-HY 200 EPOXY OR SIMILAR.

3 NEW PROPOSED CMU FRAMING DETAIL (IF REQUIRED)
S-101 SCALE N.T.S.

GC SHALL FIELD-VERIFY ALL EXISTING CONDITIONS PRIOR TO INSTALLATION. IF FIELD CONDITIONS DIFFER FROM THE DETAILS SHOWN ON THESE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY DLG ENGINEERING AND SHALL NOT PROCEED WITH INSTALLATION UNTIL WRITTEN DIRECTION/CLARIFICATION IS PROVIDED.

PROVIDE (1) #5 VERTICAL BAR IN FULLY GROUTED JAMB CELL (TYP. EACH SIDE). ADHESIVE-ANCHOR INTO EXISTING CONCRETE FOOTING/GRADE BEAM WITH HILTI HIT-HY 200 (OR APPROVED EQUIV.); 8" MIN. EMBEDMENT (OR AS REQUIRED BY DESIGN).
EXTEND BAR INTO GROUTED LINTEL/BOND BEAM ABOVE OPENING AND PROVIDE CODE-REQUIRED DEVELOPMENT/LAP. FULLY GROUT. FIELD-VERIFY EXISTING CONCRETE THICKNESS/LOCATION PRIOR TO DRILLING; INSTALL PER MANUFACTURER ESR/INSTRUCTIONS.

NEW 42"X65" (V.I.F.) WINDOW OPENING

PROVIDE 8"X8" CONCRETE LINTEL WITH (2) #5 BARS DOWELED & EPOXIED INTO NEW FILLED CELLS

PROVIDE 8"X8" FILLED CELLS (1) #5 BAR DOWELED & EPOXIED 8" INTO EXISTING CONCRETE @ BOTTOM AND TOP W/HILTI HIT-HY 200 EPOXY OR SIMILAR.

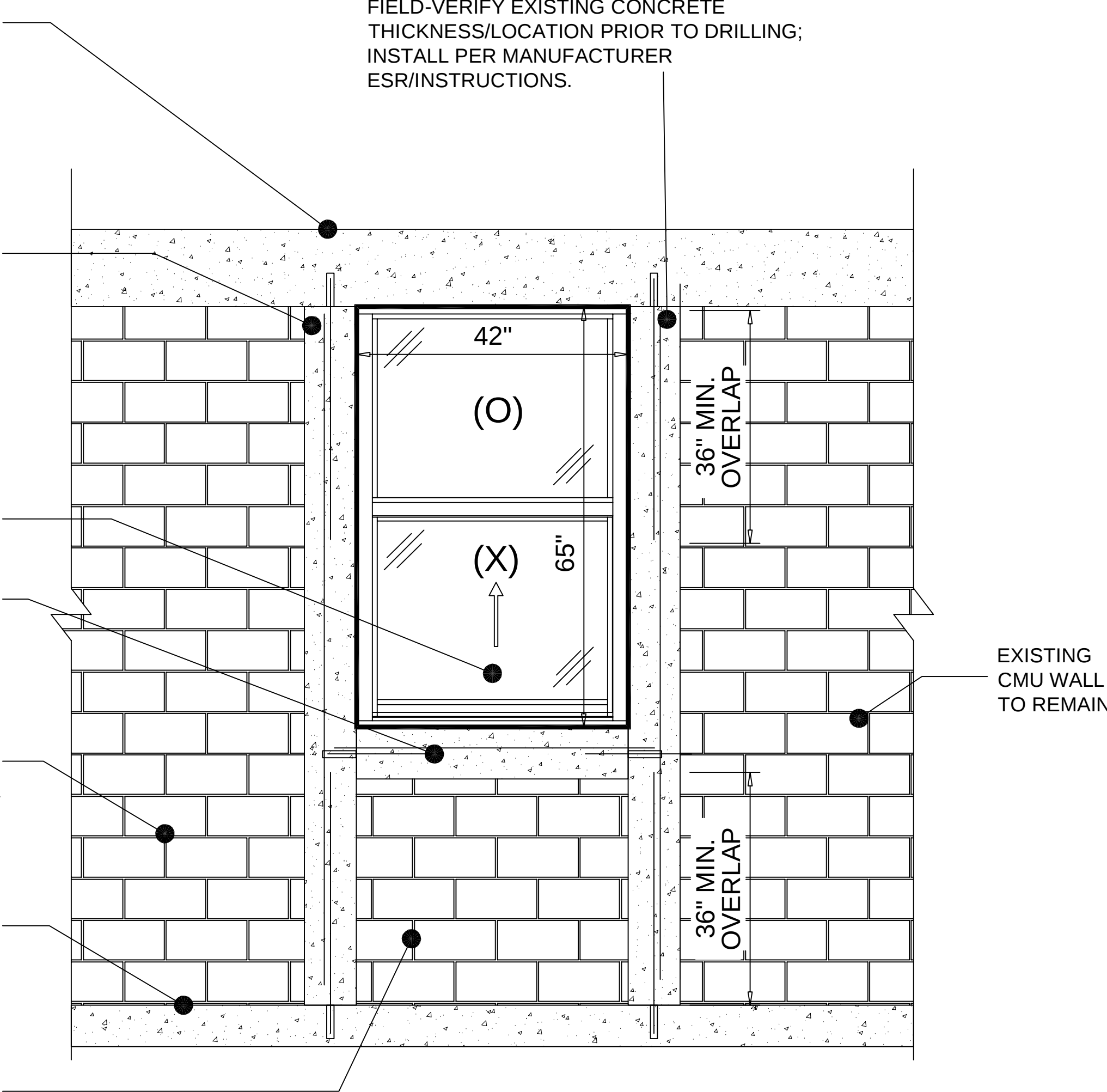
EXISTING CONCRETE SLAB

INFILL OPENING W/ 8" CMU REINF. W/ 9 GAUGE HORIZONTAL JOINT AT 10" O.C.

2 PROPOSED ELEVATION
S-101 SCALE N.T.S.

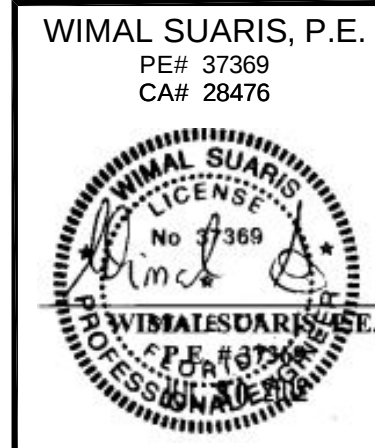
NOTE:
IN THE ABSENCE OF EXISTING STRUCTURAL DRAWINGS, G.C. TO VERIFY NO STRUCTURAL COLUMNS ARE PRESENT IN THIS AREA. IF A STRUCTURAL COLUMN IS FOUND, NOTIFY DLGE IMMEDIATELY TO PROVIDE AN ALTERNATIVE INSTALLATION DETAIL.

PROVIDE (1) #5 VERTICAL BAR IN FULLY GROUTED JAMB CELL (TYP. EACH SIDE). ADHESIVE-ANCHOR INTO EXISTING CONCRETE FOOTING/GRADE BEAM WITH HILTI HIT-HY 200 (OR APPROVED EQUIV.); 8" MIN. EMBEDMENT (OR AS REQUIRED BY DESIGN).
EXTEND BAR INTO GROUTED LINTEL/BOND BEAM ABOVE OPENING AND PROVIDE CODE-REQUIRED DEVELOPMENT/LAP. FULLY GROUT. FIELD-VERIFY EXISTING CONCRETE THICKNESS/LOCATION PRIOR TO DRILLING; INSTALL PER MANUFACTURER ESR/INSTRUCTIONS.



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P: 305 665-9089 www.dlgengineering.com
F: 305 665-4672 mailing@dlgengineering.com

REVISIONS	



WINDOW MOD.- EXIST./PROP. ELEV. & DET.
CLIENT: PERMITTING & CONSTRUCTION SERVICES MIAMI, FL 33132
PROJECT: 360 SATURN AVENUE, TEQUESTA, FL 33469

DATE	02-26-2026
SCALE	AS NOTED
DRAWN	AA
CHECKED BY	JRO
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DRAWING NO.
SD26-021

SHEET
S-101

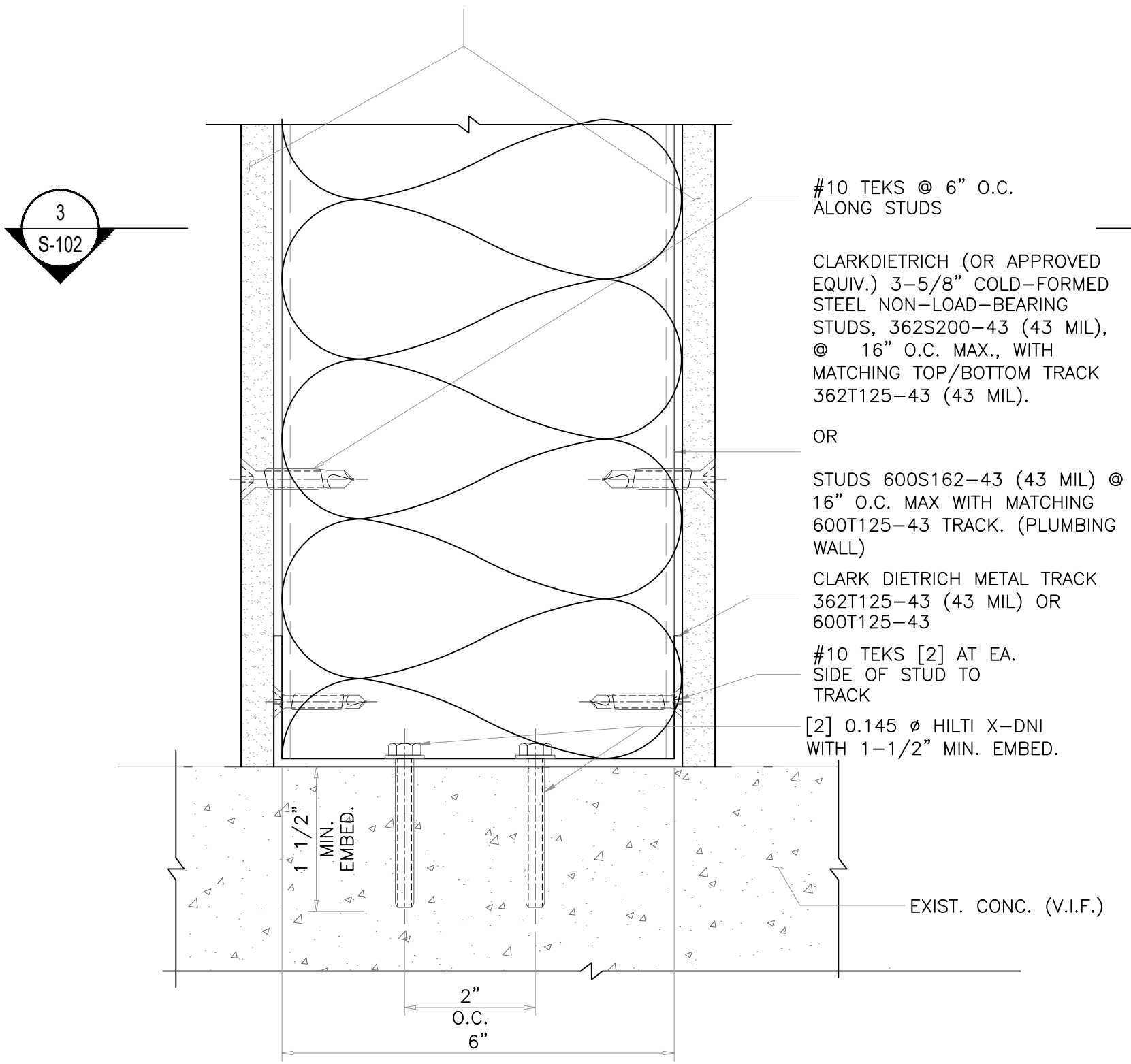
5/8" TYPE 'X' GYPSUM BOARD (BOTH SIDES).
BACKER: N/A (NO TILE).

OR

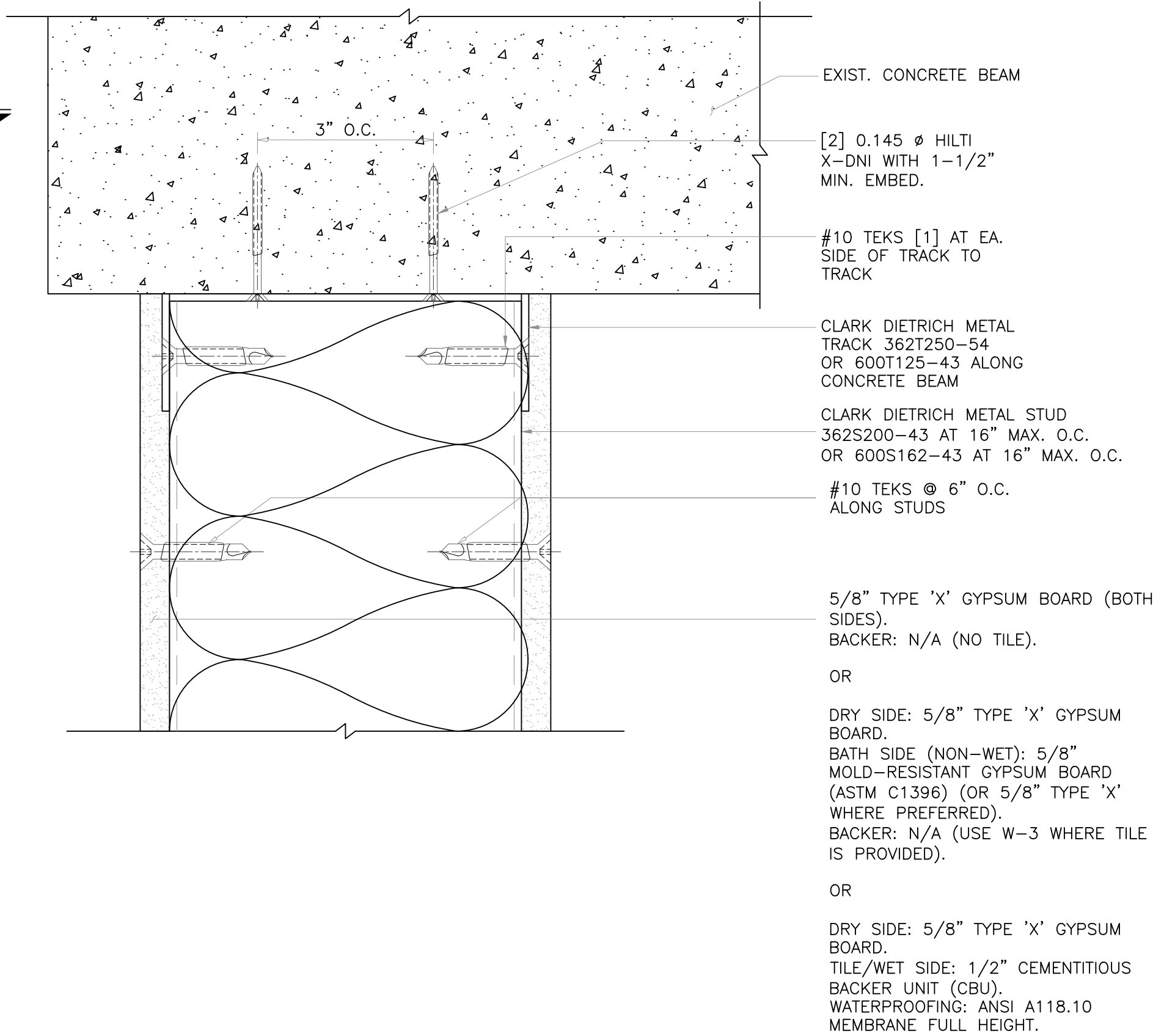
DRY SIDE: 5/8" TYPE 'X' GYPSUM BOARD.
BATH SIDE (NON-WET): 5/8" MOLD-RESISTANT GYPSUM BOARD
(ASTM C1396) (OR 5/8" TYPE 'X' WHERE PREFERRED).
BACKER: N/A (USE W-3 WHERE TILE IS PROVIDED).

OR

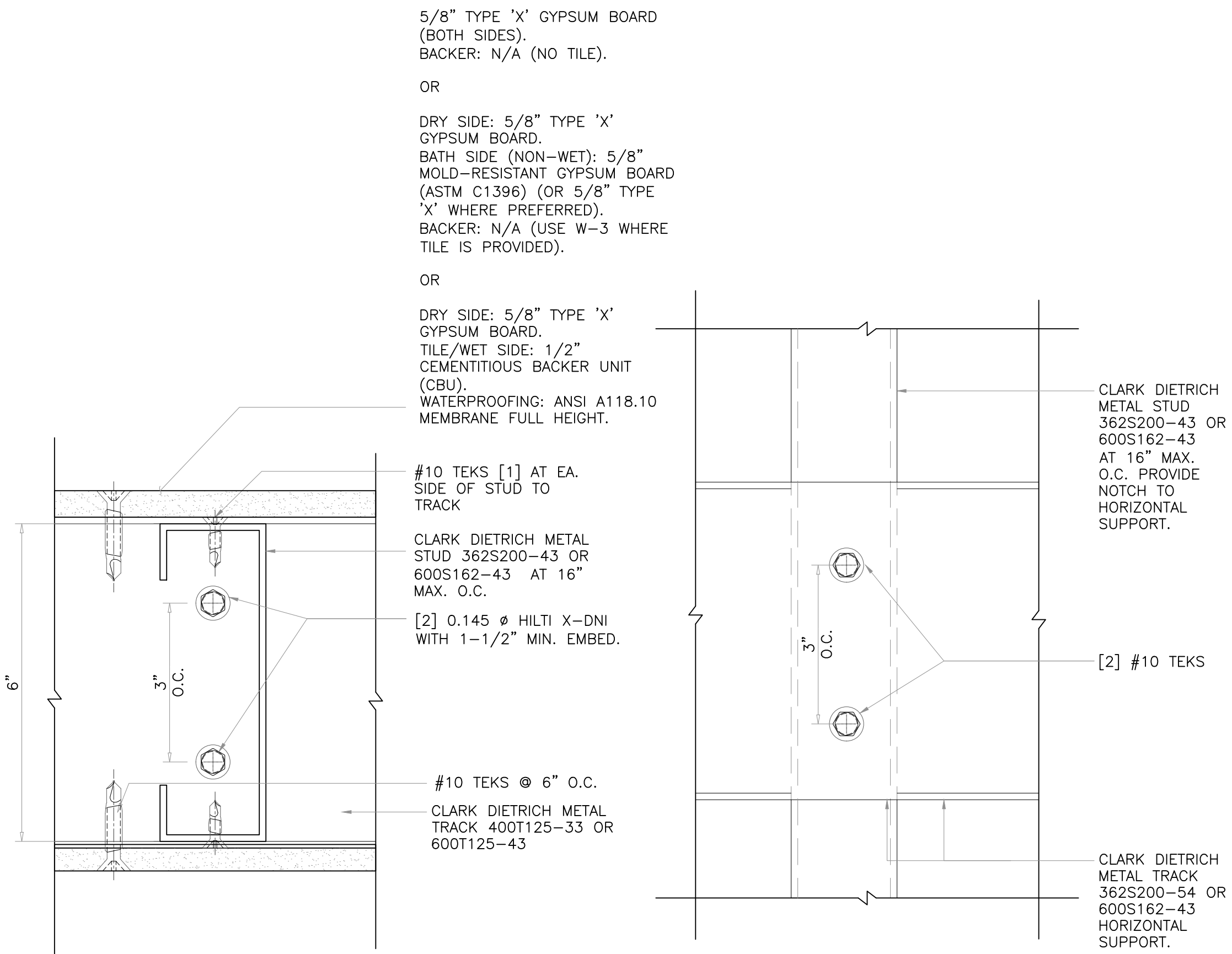
DRY SIDE: 5/8" TYPE 'X' GYPSUM BOARD.
TILE/WET SIDE: 1/2" CEMENTITIOUS BACKER UNIT (CBU).
WATERPROOFING: ANSI A118.10 MEMBRANE FULL HEIGHT.



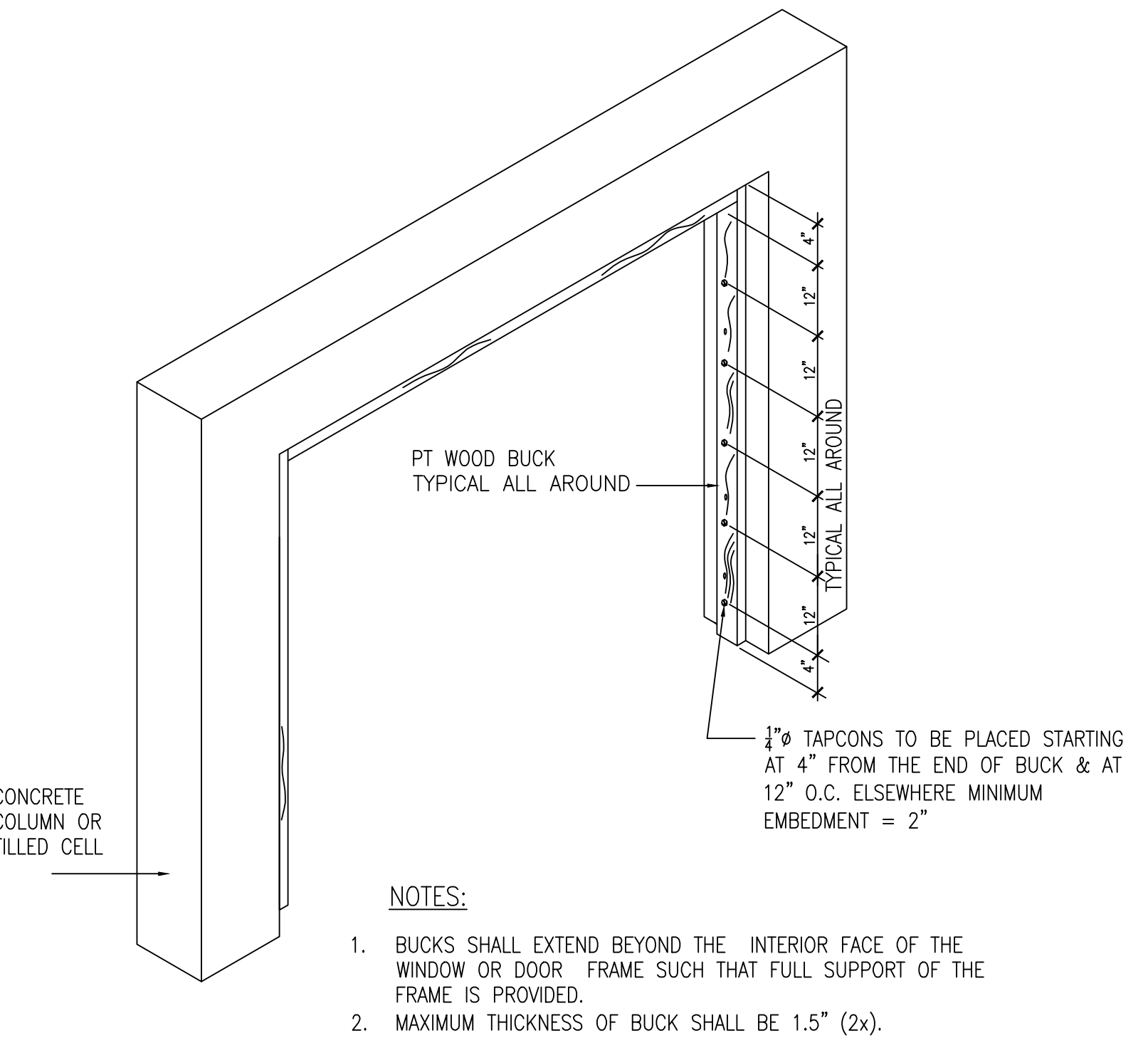
1 ELEVATION: SILL CONNECTION TO CONCRETE
S-102 SCALE 6" = 1'-0"



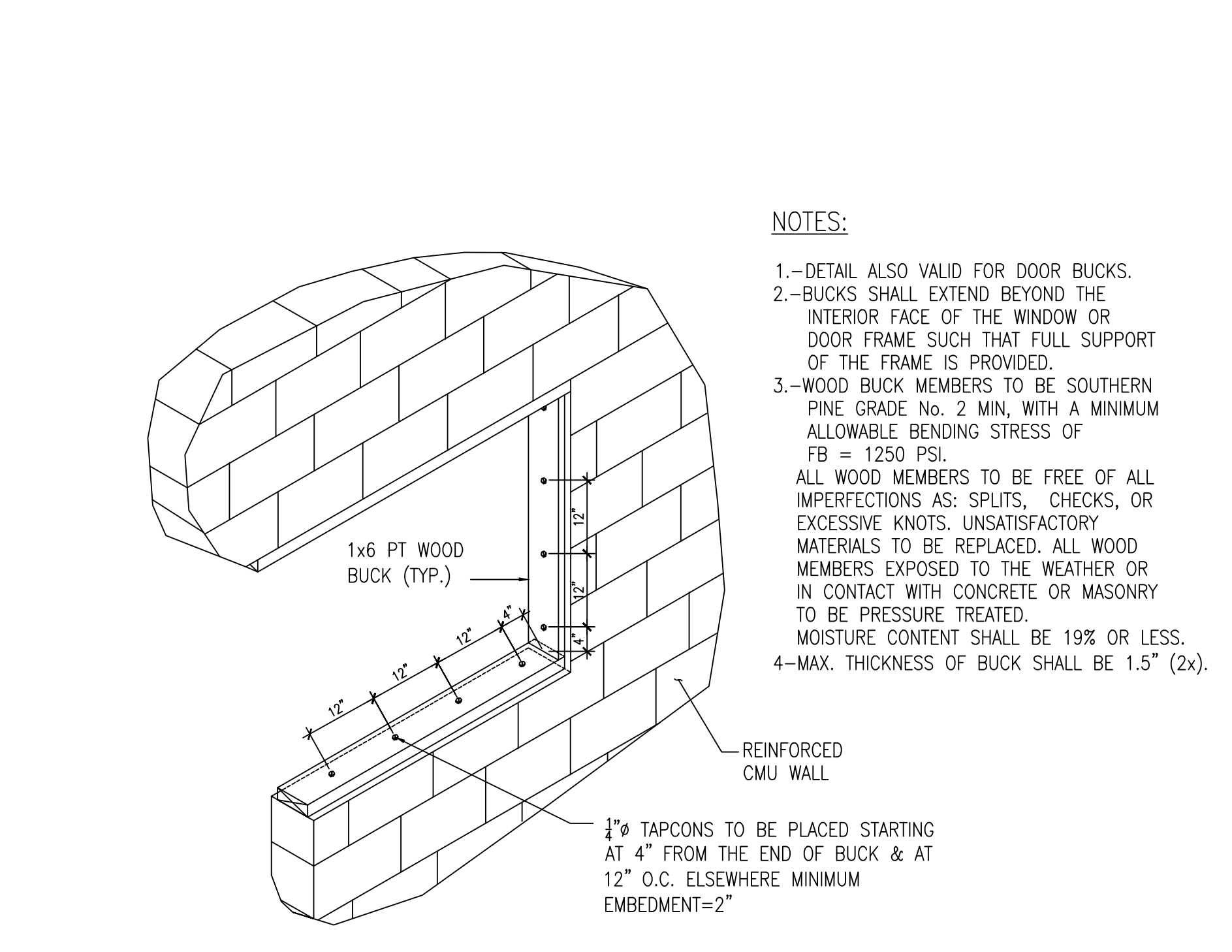
2 ELEVATION: TOP CONNECTION TO CONCRETE
S-102 SCALE 6" = 1'-0"



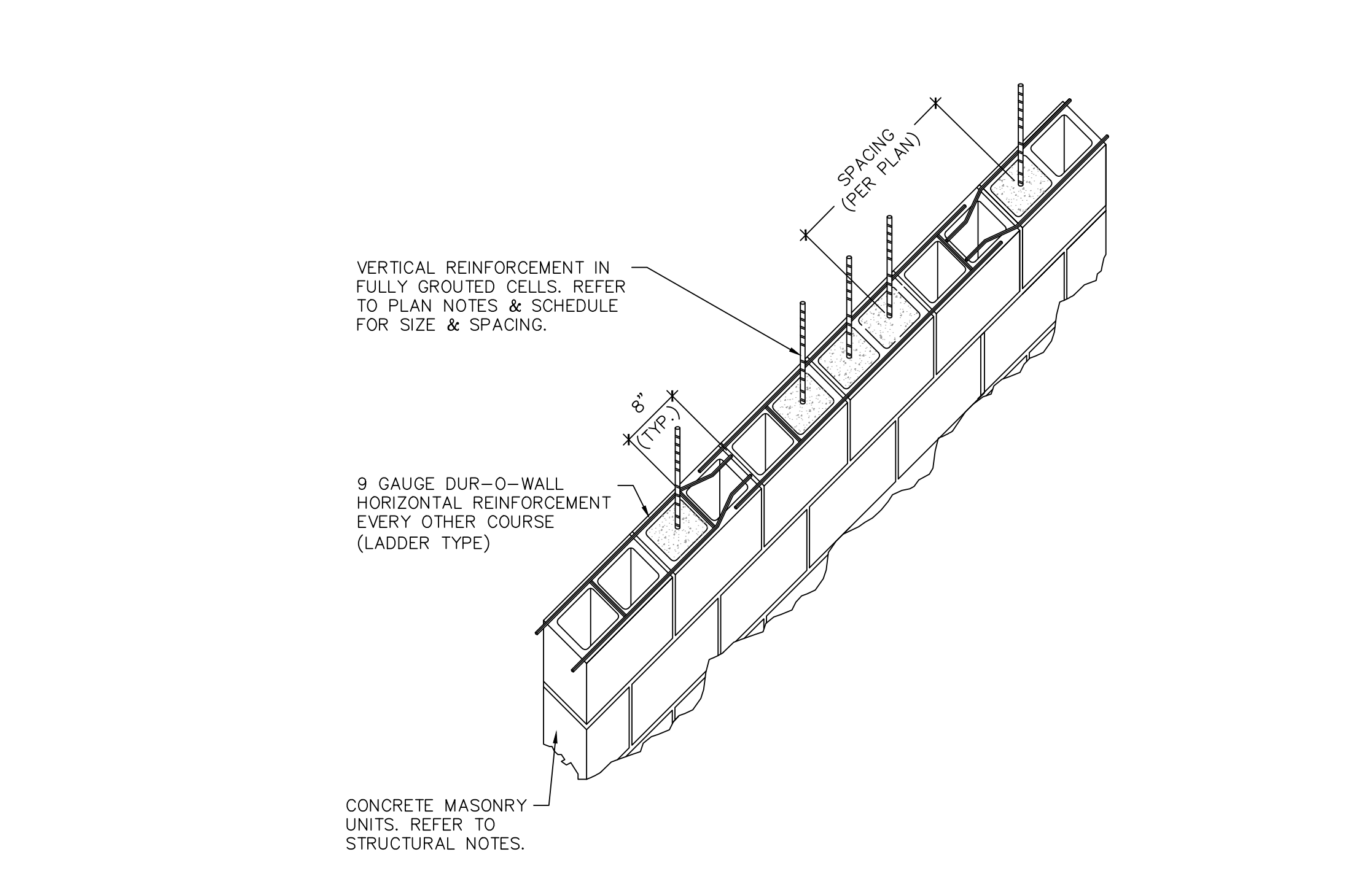
3 PLAN VIEW: STUD DETAIL
S-102 SCALE 6" = 1'-0"



5 IF REQUIRED
DOOR BUCK CONNECTION DETAIL
S-102 SCALE N.T.S.



6 IF REQUIRED
WINDOW BUCK CONNECTION DETAIL
S-102 SCALE N.T.S.



7 TYPICAL WALL REINFORCEMENT DETAIL
S-102 SCALE N.T.S.

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REVISIONS	

WIMAL SUARIS, P.E.
PE# 37369
CA# 28476



DETAILS

PROJECT: **GEROME CHIRCO RESIDENCE**
360 SATURN AVENUE,
TEQUESTA, FL 33469

CLIENT: **PERMITTING & CONSTRUCTION SERVICES**
MIAMI, FL 33132

DATE	02-26-2026
SCALE	AS NOTED
DRAWN	AA
CHECKED BY	JRO
PROJECT	26-021

DRAWING NO.
SD26-021

SHEET
S-102

HVAC / MECHANICAL SCOPE OF WORK									
(E) AIR HANDLER (AHU) AND (E) CONDENSER SHALL REMAIN IN THEIR ORIGINAL LOCATION, IN SERVICE, AND UNALTERED. NO NEW HVAC EQUIPMENT IS INCLUDED UNDER THIS PERMIT.									
LIMITED MECHANICAL WORK UNDER THIS PERMIT IS RESTRICTED TO THE FOLLOWING: 1. RELOCATE (E) SUPPLY/RETURN GRILLES/REGISTERS WITHIN THE ALTERED AREAS ONLY TO ALIGN WITH THE NEW BEDROOM AND NEW BATHROOM LAYOUTS, AS SHOWN ON MECHANICAL/ARCHITECTURAL PLANS. 2. MODIFY/RE-ROUTE ONLY MINOR ASSOCIATED BRANCH DUCTWORK AS REQUIRED TO SERVE THE RELOCATED GRILLES. 3. PROVIDE NEW BATHROOM EXHAUST FAN AND DUCTWORK FOR THE NEW BATHROOM, DISCHARGED DIRECTLY TO EXTERIOR (NO DISCHARGE TO ATTIC), AS SHOWN.									
THE FOLLOWING MECHANICAL WORK IS NOT INCLUDED UNDER THIS PERMIT UNLESS SPECIFICALLY SHOWN: • NO RELOCATION/REPLACEMENT OF (E) AHU OR (E) CONDENSER. • NO NEW OR MODIFIED REFRIGERANT LINES, CONDENSATE DRAIN LINES (EXCEPT IF REQUIRED FOR NEW EXHAUST FAN CONDENSATION MANAGEMENT, IF APPLICABLE), INSULATION, PADS, OR CONTROLS/THERMOSTAT RELOCATION. • NO SYSTEM CAPACITY UPGRADES, NO NEW ZONING, AND NO MODIFICATION OF MAIN TRUNKS OR RISERS.									
ANY MECHANICAL WORK BEYOND THE LIMITED SCOPE ABOVE SHALL BE SUBMITTED UNDER A SEPARATE PERMIT IN ACCORDANCE WITH 2023 FBC-M AND APPLICABLE FBC-EXISTING BUILDING REQUIREMENTS AND AHJ POLICIES.									
GENERAL MECHANICAL NOTES AND CONDITIONS									
A. DRAWINGS ARE DIAGRAMMATIC AND TYPICAL U.O.N.; APPLY TO SIMILAR CONDITIONS. IT IS NOT THE INTENT TO SHOW EVERY DETAIL. B. CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS PRIOR TO WORK. DO NOT SCALE DRAWINGS. REPORT DISCREPANCIES TO EOR/AOR BEFORE PROCEEDING. C. PROTECT (E) HVAC EQUIPMENT, DUCTWORK, GRILLES, CEILINGS, AND FINISHES TO REMAIN. PROVIDE TEMPORARY PROTECTION AND KEEP SYSTEM OPERATIONAL WHERE REQUIRED. D. WHERE GRILLES ARE RELOCATED, CONTRACTOR SHALL MAINTAIN PROPER AIR DISTRIBUTION AND RETURN AIR PATHS AND SHALL BALANCE/ADJUST AIRFLOW AS REQUIRED FOR THE ALTERED AREAS. DO NOT USE BATHROOMS OR CLOSETS AS RETURN AIR PLENUMS UNLESS SPECIFICALLY DETAILED AND CODE-COMPLIANT. E. BATHROOM EXHAUST FAN SHALL BE DUCTED TO EXTERIOR WITH A BACKDRAFT DAMPER; TERMINATION SHALL BE WEATHER-TIGHT AND INSTALLED PER MANUFACTURER INSTRUCTIONS. NO DISCHARGE TO ATTIC/CRAWLSPACE. F. SEAL ALL DUCT JOINTS, PENETRATIONS, AND TERMINATIONS. RESTORE INSULATION/VAPOR BARRIERS TO MATCH EXISTING WHERE DISTURBED. G. WORK SHALL BE PERFORMED BY FLORIDA-LICENSED MECHANICAL CONTRACTOR AND SHALL COMPLY WITH 2023 FBC-M AND APPLICABLE AHJ REQUIREMENTS. H. CONTRACTOR SHALL VISIT AND EXAMINE THE SITE PRIOR TO PROPOSAL; SUBMISSION CONFIRMS FAMILIARITY WITH EXISTING CONDITIONS. I. ANY REQUIRED CLARIFICATIONS SHALL BE REQUESTED FROM THE DESIGN PROFESSIONAL PRIOR TO INSTALLATION; WRITTEN RESPONSES SHALL GOVERN. J. EXHAUST DUCT SHALL BE SIZED/ROUTED PER MANUFACTURER REQUIREMENTS AND FBC-M; PROVIDE SUPPORT/HANGERS, LIMIT ELBOWS, AND PROVIDE CONDENSATION CONTROL (SLOPE/INSULATION WHERE REQUIRED). DO NOT TERMINATE INTO SOFFIT/ATTIC/CRAWLSPACE. K. EXHAUST TERMINATION LOCATION SHALL MAINTAIN REQUIRED CLEARANCES FROM OPENINGS/PROPERTY LINES AND SHALL INCLUDE BACKDRAFT DAMPER; PROVIDE WEATHER-TIGHT FLASHING/SEALANT AT PENETRATION. L. MAINTAIN ADEQUATE RETURN AIR PATHS FOR ALL SERVED ROOMS AFTER GRILLE RELOCATION (TRANSFER GRILLES/UNDERCUTS WHERE APPLICABLE). DO NOT DRAW RETURN AIR FROM BATHROOMS. M. MAINTAIN ADEQUATE RETURN AIR PATHS FOR ALL SERVED ROOMS AFTER GRILLE RELOCATION (TRANSFER GRILLES/UNDERCUTS WHERE APPLICABLE). DO NOT DRAW RETURN AIR FROM BATHROOMS. N. AFTER GRILLE/BRANCH DUCT MODIFICATIONS, CONTRACTOR SHALL VERIFY AIRFLOW PERFORMANCE IN ALTERED AREAS AND ADJUST AS REQUIRED TO MAINTAIN COMFORT AND PROPER DISTRIBUTION.									

HEATER KIT ELECTRICAL RATINGS TABLE									
HEATER	PH	MIN CKT AMPACITY (CKT-1)	MIN CKT AMPACITY (CKT-2)	MIN CKT AMPACIT Y (CKT-3)	MAX FUSE/CKT BKR (CKT-1)	MAX FUSE/CKT BKR (CKT-2)	MAX FUSE/CKT BKR (CKT-3)	SINGLE POINT SUPPLY (MCA)	SINGLE POINT SUPPLY (MFS)
NONE	1	5/5			15/15				
ECB(27)29-4(CB)-P	1	26/23			30/25				
ECB(27)29-5(CB)-P	1	31/28			35/30				
ECB(27)29-6(CB)-P	1	36/32			40/35				
ECB(27)29-8(CB)-P	1	47/41			50/45				
ECB(27)29-9(CB)-P	1	52/46			60/50				
ECB29-10(CB)-P	1	57/50			60/50				
ECB(27)29-12.5CB-P	1	27/24	43/38		30/25	45/40		70/62	70/70
ECB(27)29-15CB-P	1	31/28	52/45		35/30	60/45		83/73	90/80
ECB(27)29-20CB-P	1	52/46	57/50		60/50	60/50		109/95	110/100
ECB(27)29-8-Y	3	29/26			30/30				
ECB(27)29-10-Y	3	35/31			35/35				
ECB(27)29-15CB-Y	3	50/44			50/45				
ECB(27)29-20CB-Y	3	35/31	30/26		35/35	30/30		65/57	70/60

EXISTING HVAC EQUIPMENT – NAMEPLATE DATA	
IDENTIFICATION	
Manufacturer	LENNOX
Location	Dallas, Texas
Assembled in	Mexico
Model No. (M/N)	ML17XC1-036-230A01
Serial No. (S/N)	1924B46117
Part	PART "A"
Lower code	9-1792001
Use	FOR OUTDOOR USE
REFRIGERANT / CHARGE	
Refrigerant	CONTAINS HFC-410A
Factory charge	8 LBS 8 OZS
DESIGN PRESSURE	
HI	448 PSIG
LO	236 PSIG
ELECTRICAL RATING	
Phase	1 PH
Frequency	60 HZ
Nominal volts	208/230 V
Permitted volts (min)	197 V
Permitted volts (max)	253 V
Min. circuit ampacity	17.4 A
Max fuse or ckt. bkr.	30 A
Short-circuit current rating	5 kA RMS symmetrical
SCCR maximum voltage	600 V max
COMPRESSOR	
Phase	1 PH
RLA	13.1 A
LRA	83.1 A
FAN MOTOR	
Phase	1 PH
FLA	1.0 A
HP	1/6 HP
CERTIFICATIONS / LISTINGS	
AHRI	CERTIFIED
ETL Listed	c us
Intertek listing no.	4002783
Conforms to	UL STD 1995
Certified to	CSA STD C22.2 NO. 236

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REVISIONS

WIMAL SUARIS, P.E.
PE# 37369
CA# 28476



MECHANICAL NOTES & (E) HVAC EQUIPMENT

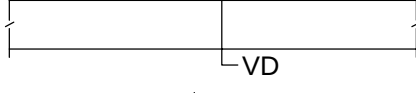
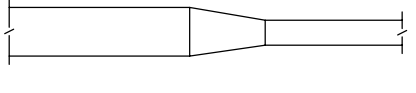
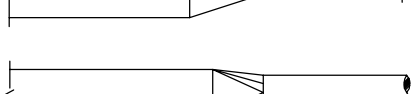
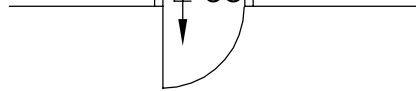
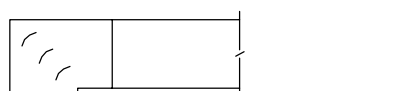
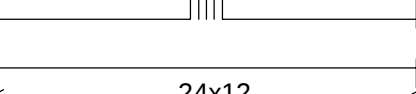
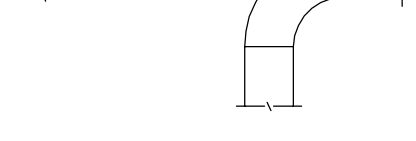
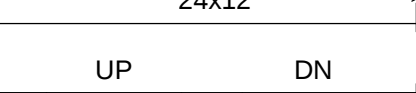
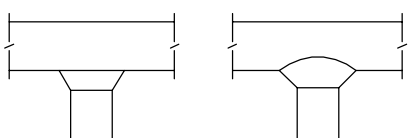
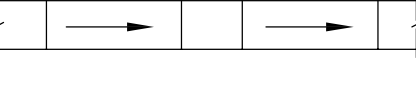
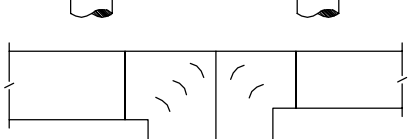
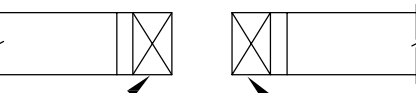
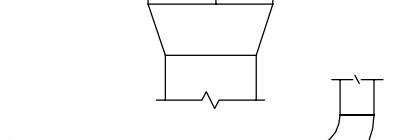
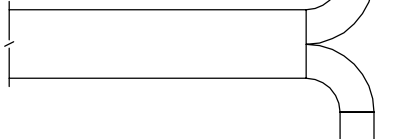
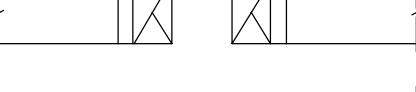
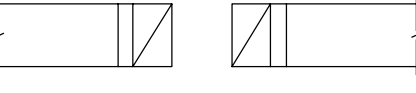
CLIENT: PERMITTING & CONSTRUCTION SERVICES
MIAMI, FL 33132

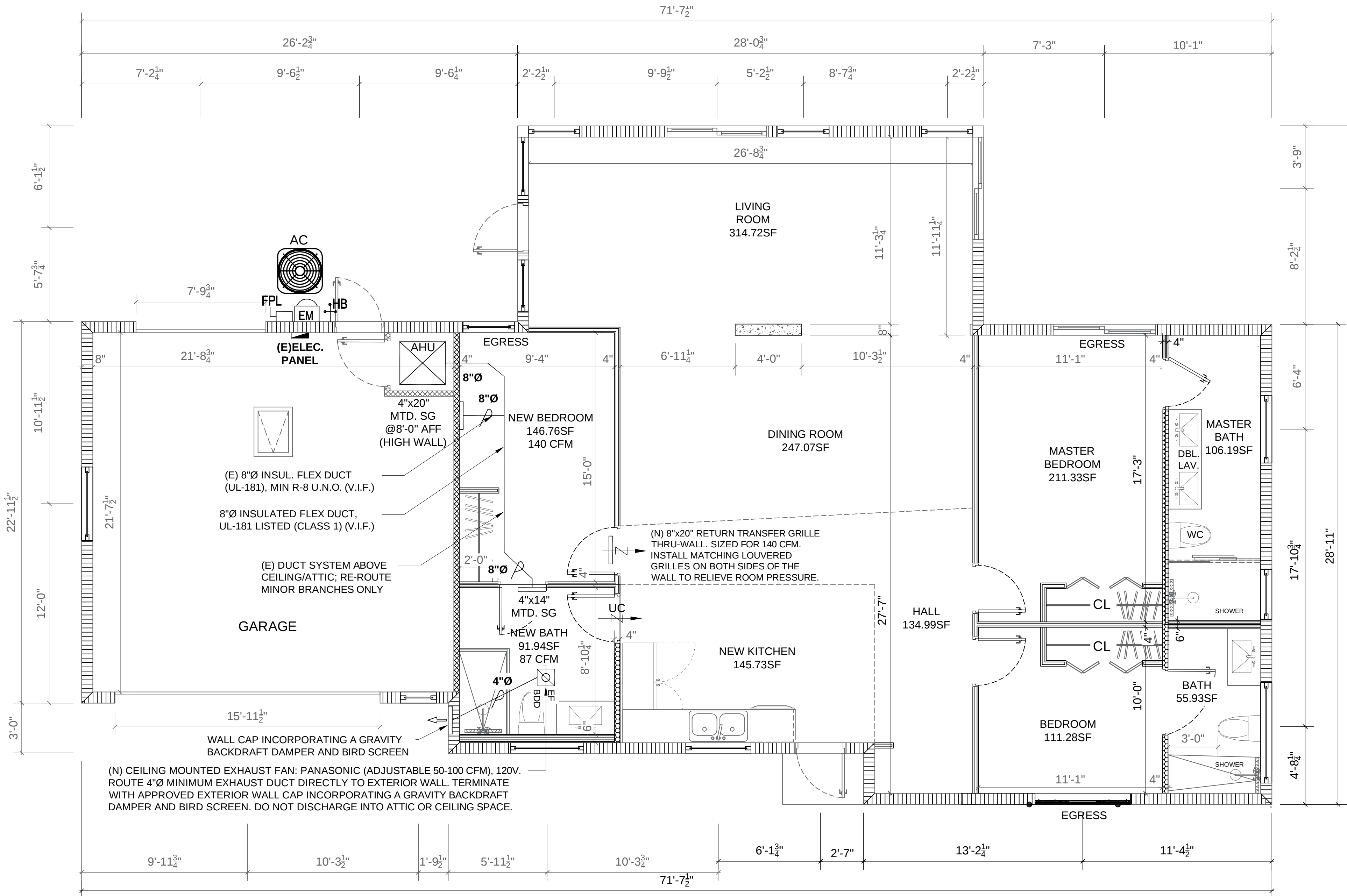
PROJECT: GEROME CHIRCO RESIDENCE
360 SATURN AVENUE, TEQUESTA, FL 33469

DATE	02-26-2026
SCALE	N.T.S.
DRAWN	AA
CHECKED BY	JRO
PROJECT	26-021

DRAWING NO.
SD26-021

SHEET
M-100

HVAC SYMBOL LEGEND						HVAC ABBREVIATIONS			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SUPPLY DIFFUSER OR GRILLE (VERTICAL MOUNT, SIDEWALL)		MANUAL BALANCING DAMPER		TRANSITION, CONCENTRIC	A/E	ARCHITECT / ENGINEER	EA	EXHAUST AIR
	RETURN / EXHAUST REGISTER OR GRILLE (VERTICAL MOUNT, SIDEWALL)		DOOR GRILLE		TRANSITION, ECCENTRIC	AAHX	AIR-TO-AIR HEAT EXCHANGER	EAT	ENTERING AIR TEMPERATURE
	CARBON DIOXIDE SENSOR		UNDERCUT DOOR		TRANSITION, SQUARE TO ROUND	ACCU	AIR-COOLED CONDENSING UNIT	EER	ENERGY EFFICIENCY RATING
	THERMOSTAT / TEMPERATURE SENSOR		ACCESS DOORS, VERTICAL OR HORIZONTAL		SQUARE THROAT ELBOW W/ TURNING VANES	ACU	AIR-CONDITIONING UNIT	EF	EXHAUST FAN
	HUMIDISTAT / HUMIDITY SENSOR		FLEXIBLE CONNECTION		RADIUS ELBOW	AD	ACCESS DOOR	EQUIP	EQUIPMENT
			NEW DUCTWORK, FIRST DIMENSION IS SIDE SHOWN		RECTANGULAR / ROUND BRANCH TAKE-OFF OR ROUND / ROUND BRANCH TAKE-OFF	ADA	AMERICANS WITH DISABILITIES ACT	ESP	EXTERNAL STATIC PRESSURE
			CHANGE OF ELEVATION		SQUARE THROAT TEE W/ TURNING VANES	AFF	ABOVE FINISHED FLOOR	ETR	EXISTING TO REMAIN
			DUCT ELBOW, SUPPLY OR OUTSIDE AIR		RADIUS TEE	AFR	ABOVE FINISHED ROOF	EWI	ENTERING WATER TEMPERATURE
			DUCT ELBOW, EXHAUST AIR		RECTANGLE-TO-ROUND TAKE-OFF	AH	AIR HANDLING UNIT	EX	EXISTING
			DUCT ELBOW, RETURN AIR			AP	ACCESS PANEL		
			FLEXIBLE DUCT			APPROX	APPROXIMATE		



1 MECHANICAL FLOOR PLAN

M-101 SCALE

1/4"=1'-0"

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REVISIONS

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CA# 28476



MECHANICAL FLOOR PLAN
PROJECT
CLIENT
PERMITTING & CONSTRUCTION SERVICES
MIAMI, FL 33132
360 SATURN AVENUE,
TEQUESTA, FL 33469

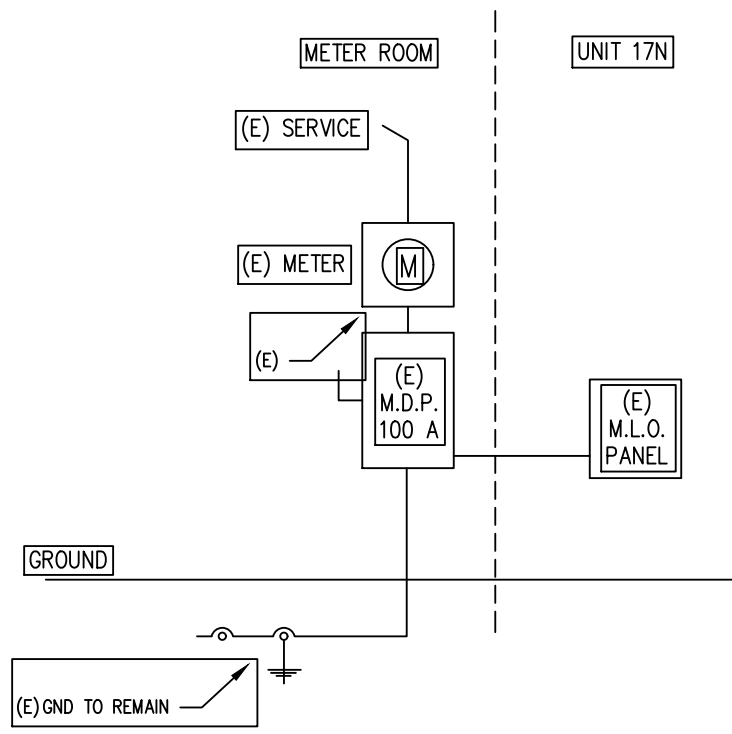
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SD26-021

SHEET
M-101

GENERAL ELECTRICAL NOTES (2023 FBC / NEC)	
1. CODES: ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2023 FLORIDA BUILDING CODE (8TH EDITION) AND THE CURRENTLY ADOPTED NATIONAL ELECTRICAL CODE (NFPA 70), AND ALL APPLICABLE AHJ (VILLAGE OF TEQUESTA / PALM BEACH COUNTY) ORDINANCES.	
2. LICENSED CONTRACTOR: ALL WORK SHALL BE PERFORMED BY A FLORIDA–LICENSED ELECTRICAL CONTRACTOR IN A NEAT AND WORKMANLIKE MANNER.	
3. EXISTING CONDITIONS / FIELD VERIFY: CONTRACTOR SHALL FIELD–VERIFY EXISTING CONDITIONS (PANEL LOCATION/RATING, CIRCUITS, WIRING METHODS, DEVICE LOCATIONS, AND ROUTES) PRIOR TO START OF WORK. REPORT DISCREPANCIES TO DESIGN PROFESSIONAL PRIOR TO INSTALLATION.	
4. SYSTEM COMPLETENESS: DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL PROVIDE ALL LABOR/MATERIALS REQUIRED FOR A COMPLETE, CODE–COMPLIANT INSTALLATION IN ALTERED AREAS AS SHOWN.	
5. CONDUCTORS / MINIMUM SIZES: ALL BRANCH CIRCUIT CONDUCTORS SHALL BE COPPER, 600V RATED, THHN/THWN–2 (OR BETTER) UNLESS NOTED OTHERWISE. MINIMUM BRANCH CIRCUIT CONDUCTOR SIZE SHALL BE #12 AWG (EXCEPT CONTROL/LOW–VOLTAGE WHERE APPLICABLE). ALUMINUM CONDUCTORS ARE NOT PERMITTED FOR BRANCH CIRCUITS UNDER THIS SCOPE.	
6. BOXES / SPLICES: ALL SPLICES SHALL BE IN LISTED, ACCESSIBLE JUNCTION BOXES WITH COVERS. VERIFY BOX FILL AND DEVICE BOX SIZING.	
7. GROUNDING / BONDING: PROVIDE EQUIPMENT GROUNDING AND BONDING PER CODE. VERIFY CONTINUITY OF EXISTING GROUNDING SYSTEM FOR ALL MODIFIED CIRCUITS/DEVICES.	
8. PANEL / WORKING CLEARANCE / LABELING: MAINTAIN REQUIRED ELECTRICAL WORKING CLEARANCES AT ALL PANELS AND ELECTRICAL EQUIPMENT. LABEL ALL NEW/MODIFIED CIRCUITS IN THE PANEL DIRECTORY TO CLEARLY IDENTIFY SERVED AREAS/LOADS.	
9. DEVICE REQUIREMENTS: ALL 125V, 15/20A RECEPTACLES IN ALTERED AREAS SHALL BE TAMPER–RESISTANT. PROVIDE WEATHER–RESISTANT RECEPTACLES WITH IN–USE COVERS ONLY WHERE EXTERIOR RECEPTACLES ARE INSTALLED/REPLACED UNDER THIS SCOPE.	
10. PROTECTION (AFCI/GFCI): PROVIDE ARC–FAULT AND/OR GROUND–FAULT PROTECTION WHERE REQUIRED FOR THE ALTERED AREAS AND NEW WORK, PER CURRENT CODE REQUIREMENTS.	
11. SMOKE/CO ALARMS: PROVIDE HARD–WIRED, INTERCONNECTED SMOKE ALARMS AND CARBON MONOXIDE ALARMS WITH BATTERY BACKUP WHERE REQUIRED BY CODE DUE TO ALTERATIONS. LOCATIONS AND CIRCUITING SHALL BE PER APPROVED ELECTRICAL PLAN.	
12. EQUIPMENT / LISTINGS: ALL DEVICES, LUMINAIRES, AND EQUIPMENT SHALL BE LISTED/LABELED FOR THE INTENDED USE AND INSTALLED PER MANUFACTURER INSTRUCTIONS. PROVIDE LISTED SUPPORT FOR CEILING FANS AND ANY HEAVY LUMINAIRES AS REQUIRED.	
SPECIFIC ELECTRICAL NOTES (PROJECT SCOPE)	
E–1. EXISTING ELECTRICAL SERVICE: (E) 200A, 120/240V SINGLE–PHASE SERVICE/PANEL TO REMAIN. NO SERVICE UPGRADE IS INCLUDED UNDER THIS PERMIT UNLESS SPECIFICALLY NOTED.	
E–2. ALTERED AREAS – GENERAL: PROVIDE/RELOCATE RECEPTACLES, SWITCHES, AND LIGHTING IN ALTERED AREAS AS SHOWN. ALL NEW DEVICES SHALL COMPLY WITH REQUIRED SPACING AND PROTECTION REQUIREMENTS PER CURRENT CODE.	
E–3. BEDROOMS: PROVIDE RECEPTACLE OUTLETS AT EACH SIDE OF BED LOCATIONS IN EACH BEDROOM, AND ADDITIONAL RECEPTACLES AS REQUIRED TO MEET CODE SPACING IN ALTERED BEDROOM AREAS. PROVIDE (4) RECESSED/SPOT LIGHT FIXTURES IN EACH BEDROOM AS SHOWN.	
E–4. KITCHEN: PROVIDE LIGHT FIXTURE ABOVE KITCHEN ISLAND AS SHOWN. PROVIDE/MAINTAIN REQUIRED KITCHEN SMALL–APPLIANCE CIRCUITS AND REQUIRED COUNTERTOP RECEPTACLES IN ALTERED KITCHEN AREAS. ALL REQUIRED GFCI/AFCI PROTECTION SHALL BE PROVIDED WHERE APPLICABLE.	
E–5. NEW BATHROOM: PROVIDE BATHROOM RECEPTACLE(S) AND LIGHTING AS SHOWN. BATHROOM RECEPTACLES SHALL BE GFCI PROTECTED AND ON REQUIRED CIRCUITING PER CODE. COORDINATE DEVICE LOCATIONS WITH VANITY/MIRROR AND GFCI REQUIREMENTS.	
E–6. ELECTRICAL DEVICE RELOCATION: WHERE DEVICES ARE RELOCATED DUE TO NEW WALLS/OPENINGS, REMOVE ABANDONED BOXES, EXTEND CONDUCTORS IN APPROVED RACEWAYS/CABLES, AND PATCH/REPAIR FINISHES. ALL JUNCTIONS SHALL REMAIN ACCESSIBLE.	
E–7. PANEL SCHEDULING: PROVIDE UPDATED PANEL DIRECTORY AND IDENTIFY ALL NEW/MODIFIED CIRCUITS. VERIFY AVAILABLE SPACES AND LOADS PRIOR TO ADDING CIRCUITS.	
E–8. CLOSETS / LUMINAIRES: ALL LUMINAIRES LOCATED WITHIN CLOSETS SHALL COMPLY WITH REQUIRED CLEARANCES AND LISTING REQUIREMENTS FOR CLOSET SPACES. COORDINATE CLOSET LAYOUTS WITH LIGHT LOCATIONS.	
E–9. GENERAL INSTALLATION QUALITY: INSTALL DEVICES LEVEL/PLUMB. VERIFY POLARITY AT RECEPTACLES. PROVIDE FACEPLATES THROUGHOUT. ALL WORK SHALL PASS AHJ INSPECTIONS FOR ROUGH AND FINAL.	

NEC TABLE 220–30	KW
1,300 SQ FT @ 3 WATTS/SQ FT	3.9
(2) 20 AMP SMALL APPL CKT @ 1500 WATTS EACH	3.0
RANGE	10.0
TANK WATER HEATER	4.5
REFRIGERATOR	0.7
DISHWASHER	1.2
GARBAGE DISPOSAL	0.7
MICROWAVE	1.0
TOTAL WITHOUT DEMAND	25.0
FIRST 10.0 KW @ 100%	10.0
REMAINING KW @ 40%	6.0
*AHU + STRIP HEATER (1.0 KW + 5.0 KW x 100%)	6.0
TOTAL CONNECTED LOAD	22.0
WATTS TO AMPS (LINE):	22,000/240V = 91.7 AMPS
FEEDER: EXTG TO REMAIN FED FROM: EXTG DISC.	
*HEATING LOAD LARGER THAN COOLING LOAD.	



ELECTRICAL RISER DIAGRAM
SCALE: N.T.S.

PANEL SCHEDULE – EXISTING (V.I.F.) – 200A MAIN – EATON BW2200								
Row	Left (Odd) Circuit	Left Description	Left Amps	Left Poles	Right (Even) Circuit	Right Description	Right Amps	Right Poles
1	1	Spare			2	Spare		
2	3	Spare			4	Spare		
3	5	Spare			6	BATH HEATER	20	2
4	7	Spare			8	BATH HEATER - cont.	20	2
5	9	Spare			10	Unknown / illegible	15	1
6	11	Spare			12	Living Rm	15	1
7	13	Unlabeled (AFCI/GFCI test button)	20	1	14	POOL HEATER	50	2
8	15	HWH (Water Heater)	20	2	16	POOL HEATER - cont.	50	2
9	17	HWH (Water Heater) -2P – shared handle	20	2	18	RANGE	50	2
10	19	Dish (Dishwasher)	20	1	20	RANGE - cont.	50	2
11	21	Disp (Disposer)	20	1	22	PC	15	1
12	23	BED Rm SE	15	1	24	KIT G	20	1
13	25	Unknown / illegible	15	1	26	KIT A	20	1
14	27	BED Rm	15	1	28	KIT B	20	1
15	29	DRYER	30	2	30	Comp	20	2
16	31	DRYER - 2P – shared handle	30	2	32	PC - cont. (paired with CKT-30)	20	2
17	33	A/C AIR COMP	30	2	34	A/C AIR HANDLER	50	2
18	35	A/C AIR COMP - cont.	30	2	36	A/C AIR HANDLER - cont.	50	2
19	37	WASHER	20	1	38	Spare		
20	39	Spare			40	Spare		
21	41	Spare			42	Spare		
VERIFY BREAKER RATINGS AGAINST EQUIPMENT NAMEPLATES (MCA/MOP) PRIOR TO FINAL.								

MAIN BREAKER – NAMEPLATE DATA	
Field	Value
Manufacturer	EATON
Equipment Type	Circuit Breaker
Series	BW 10k
Catalog No. (Cat.)	BW2200
Style	7803C08G73
Rated Amperes	200 A
Poles	2 Pole
Voltage	120/240 V~
Frequency	60 Hz
Design Temperature	40°C
Interrupting Capacity	10 kA RMS Sym. @ 120/240 V
Terminal Wire	CU/AL
Wire Size	2 - 300 (AWG/kcmil)
Torque	250 lb-in

REVISIONS	

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CA# 28476



ELECTRICAL NOTES

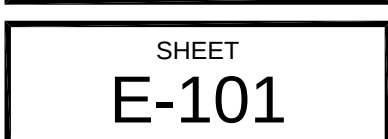
PROJECT: GEROME CHIRCO
RESIDENCE
360 SATURN AVENUE,
TEQUESTA, FL 33469

CLIENT: PERMITTING & CONSTRUCTION
SERVICES
MIAMI, FL 33132

DATE	02-26-2026
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PROJECT	26-021

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SD26-021

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GENERAL PLUMBING NOTES / PROJECT SCOPE (FBC-P 2023)

SCOPE LIMITATION:

PLUMBING WORK UNDER THIS PERMIT IS LIMITED TO THE ALTERED AREAS ONLY, INCLUDING: (1) NEW BATHROOM ROUGH-IN AND FINAL CONNECTIONS, (2) PLUMBING RECONNECTIONS/ADJUSTMENTS ASSOCIATED WITH KITCHEN REMODEL AT EXISTING KITCHEN AREA AS SHOWN, AND (3) ANY REQUIRED MODIFICATIONS IN EXISTING BATHROOMS ONLY WHERE FIXTURE LOCATIONS ARE CHANGED BY THE APPROVED PLANS. ALL OTHER PLUMBING SYSTEMS/AREAS SHALL REMAIN IN PLACE AND UNALTERED U.N.O.

1. CODE COMPLIANCE:

ALL PLUMBING WORK SHALL COMPLY WITH THE 2023 FLORIDA BUILDING CODE -PLUMBING (8TH EDITION) AND ALL APPLICABLE AHJ (VILLAGE OF TEQUESTA / PALM BEACH COUNTY) ORDINANCES AND INSPECTION REQUIREMENTS. WORK SHALL BE PERFORMED BY A FLORIDA-LICENSED PLUMBING CONTRACTOR IN A WORKMANLIKE MANNER.

2. DRAWINGS / FIELD VERIFICATION:

DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS, PIPE ROUTES, AND CONNECTION POINTS PRIOR TO CUTTING/ROUGH-IN. REPORT DISCREPANCIES TO DESIGN PROFESSIONAL PRIOR TO PROCEEDING.

3. FIXTURE FLOW / WATER DISTRIBUTION:

FIXTURE FLOW RATES SHALL COMPLY WITH FBC-P TABLE 604.4. WATER DISTRIBUTION MATERIALS, INSTALLATION, AND SIZING SHALL COMPLY WITH FBC-P CHAPTER 6; MAINTAIN REQUIRED PRESSURE AT FIXTURES.

4. VALVES / ACCESS:

PROVIDE INDIVIDUAL HOT AND COLD SHUTOFF VALVES AT EACH FIXTURE. PROVIDE ACCESSIBLE SHUTOFFS FOR ALL APPLIANCE/DEVICE CONNECTIONS (DISHWASHER, ICE MAKER, ETC.) AS APPLICABLE.

5. TRAPS / CLEANOUTS:

PROVIDE TRAPS AND TRAP ARMS PER CODE. CLEANOUTS SHALL BE PROVIDED/MAINTAINED AS REQUIRED AND SHALL REMAIN ACCESSIBLE. NO CONCEALED/INACCESSIBLE CLEANOUTS.

6. DRAINAGE / SLOPE:

INSTALL DRAINAGE PIPING WITH REQUIRED SLOPES AND WITHOUT "DEAD ENDS." MAINTAIN POSITIVE DRAINAGE. PROTECT PIPES FROM DAMAGE; PROVIDE STRIKE PLATES WHERE REQUIRED.

7. VENTING:

ALL NEW/RELOCATED FIXTURES SHALL BE PROPERLY VENTED PER FBC-P CHAPTER 9. SHOW/PROVIDE A COMPLIANT VENTING METHOD FOR THE NEW BATHROOM GROUP (DRY VENT OR CODE-PERMITTED WET VENTING, AS APPLICABLE). CONNECT TO EXISTING VENT SYSTEM OR TERMINATE AS REQUIRED. NO AIR ADMITTANCE VALVES (AAVs) UNLESS SPECIFICALLY APPROVED BY AHJ AND DETAILED ON PLANS.

8. WATER HAMMER:

PROVIDE WATER HAMMER ARRESTORS WHERE REQUIRED FOR QUICK-CLOSING VALVES/APPLIANCES PER FBC-P 604.9 AND/OR MANUFACTURER REQUIREMENTS.

9. SHOWER/TUB VALVES:

ALL SHOWER/TUB MIXING VALVES SHALL BE PRESSURE-BALANCING AND/OR THERMOSTATIC TYPE PER FBC-P 424.3.

10. FLOORING / WATER-CLOSET FLANGES:

WHERE FLOORING IS REPLACED OR TOILETS ARE RESET, SET WATER-CLOSET FLANGES FLUSH WITH FINISHED FLOOR AND SECURE TO SUBSTRATE. PROVIDE NEW WAX RING/SEAL AND TEST FOR LEAKS.

11. MATERIAL COMPATIBILITY:

ISOLATE COPPER FROM DISSIMILAR METALS AT SUPPORTS/HANGERS. PROVIDE CORROSION-RESISTANT HANGERS/FASTENERS AS REQUIRED. DO NOT MIX MATERIALS WITHOUT APPROVED TRANSITIONS/FITTINGS.

12. PENETRATIONS / PATCHING:

CONTRACTOR SHALL COORDINATE CORE DRILLING/CUTTING AND SHALL PATCH/REPAIR ALL DISTURBED SURFACES. SEAL ANNULAR SPACES AT PENETRATIONS. WHERE RATED ASSEMBLIES EXIST, PROVIDE LISTED FIRESTOP SYSTEMS TO MATCH REQUIRED RATING.

13. TESTING / INSPECTIONS:

ALL NEW WORK SHALL BE ROUGHED-IN, TESTED, AND INSPECTED PER AHJ REQUIREMENTS PRIOR TO CONCEALMENT. PROVIDE REQUIRED WATER/SANITARY TESTS AND FINAL FIXTURE SET INSPECTIONS.

PROJECT-SPECIFIC PLUMBING NOTES

P-1 NEW BATHROOM (NEW WORK):

PROVIDE NEW BATHROOM FIXTURES AND ROUGH-IN AS SHOWN. CONNECT NEW WATER SUPPLY AND SANITARY DRAINAGE TO THE EXISTING SYSTEM IN THE VICINITY OF THE KITCHEN/ADJACENT AREA AS FEASIBLE, SUBJECT TO FIELD VERIFICATION. ROUTE NEW SUPPLY PIPININ NEW INTERIOR PARTITIONS/CHASE WALLS AND/OR OTHER APPROVED PATHS; DO NOT CREATE CONTINUOUS CHASES IN EXISTING EXTERIOR CMU WALLS. PROVIDE CODE-COMPLIANT VENTING FOR THE NEW BATHROOM GROUP.

P-2 KITCHEN (REMODEL / RECONNECTION):

RECONNECT KITCHEN SINK/DISHWASHER/DISPOSER (IF APPLICABLE) TO EXISTING SANITARY AND WATER PIPING. PROVIDE NEW STOP VALVES AS REQUIRED. CAP ANY UNUSED BRANCHES. DISHWASHER DRAIN CONNECTION SHALL BE PER MANUFACTURER REQUIREMENTS (AIR GAP OR HIGH LOOP AS PER APPLICABLE REQUIREMENTS/INSTALLATION INSTRUCTIONS).

P-3 EXISTING BATHROOMS (AS AFFECTED ONLY):

EXISTING BATHROOM PLUMBING TO REMAIN U.N.O. WHERE FIXTURES ARE RELOCATED BY THE APPROVED PLANS, PROVIDE NEW ROUGH-IN, VENTING, AND CONNECTIONS PER CODE. CONFIRM ALL EXISTING LINES TO REMAIN ARE OPERATIONAL AND LEAK-FREE.

NOTE:
PLUMBING CONTRACTOR SHALL COORDINATE WITH FIXTURE CUT SHEETS AND MANUFACTURER INSTALLATION INSTRUCTIONS. MAINTAIN ALL REQUIRED CLEARANCES AND PROVIDE ALL ACCESS PANELS REQUIRED FOR VALVES/CONNECTIONS WHERE APPLICABLE.

1 PLUMBING NOTES

P-100 SCALE

N.T.S.

TABLE 604.4
MAXIMUM FLOW RATES AND CONSUMPTION FOR
PLUMBING FIXTURES,
FIXTURE FITTINGS AND APPLIANCES

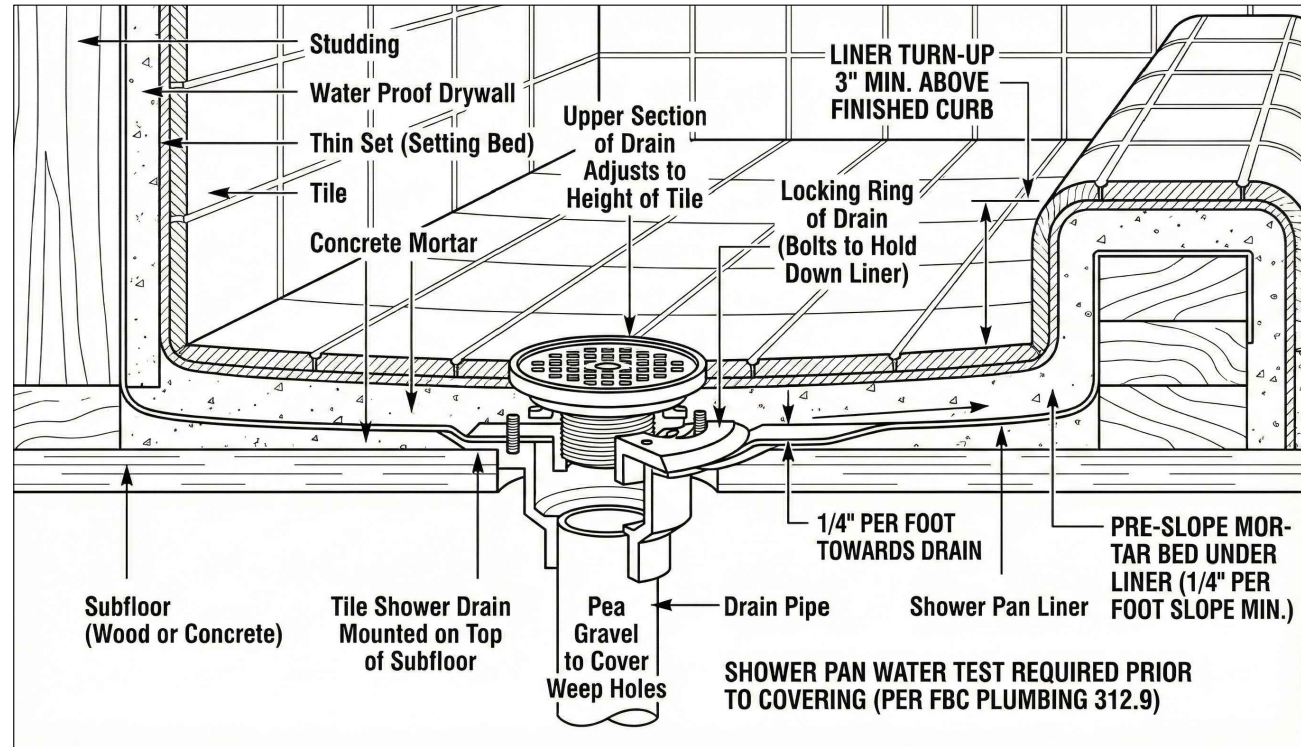
PLUMBING FIXTURE OR FIXTURE FITTING	MAXIMUM FLOW RATE OR QUANTITY
LAVATORY, PRIVATE	1.5 GPM AT 60 PSI
LAVATORY, PUBLIC (METERING)	0.25 GALLON PER METERING CYCLE
LAVATORY, PUBLIC	0.5 GPM AT 60 PSI
SHOWER HEAD ^A	2.0 GPM AT 80 PSI
SINK FAUCET	2.2 GPM AT 60 PSI
URINAL	0.5 GPM PER FLUSHING CYCLE
WATER CLOSET	1.28 GALLONS PER FLUSHING CYCLE
DISHWASHER (RESIDENTIAL)*	6.5 GALLONS PER CYCLE OR LESS (ENERGY STAR/WATERSENSE CERTIFIED)
DISHWASHER (COMMERCIAL)	LESS THAN 1.2 GALLONS PER RACK FOR FILL AND DUMP MACHINE AND LESS THAN 0.9 GALLONS PER RACK FOR LOW TEMPERATURE MACHINES
DISHWASHER (UNDER THE COUNTER MACHINES COMMERCIAL)	1.0 GALLONS PER RACK FOR HIGH TEMPERATURE MACHINES AND 1.7 GALLONS PER RACK FOR LOW TEMPERATURE MACHINES
WASHING MACHINE*	WATER FACTOR OF 8 OR LOWER (ENERGY STAR/WATERSENSE CERTIFIED)

FOR SI: 1 GALLON=3.785 L, 1 GALLON PER MINUTE = 3.785 L/M
1 POUND PER SQUARE INCH = 6.895 kPa
A. A HAND-HELD SHOWER SPRAY IS A SHOWER HEAD *IF INSTALLED
B. CONSUMPTION TOLERANCE SHALL BE DETERMINED FROM REFERENCED STANDARDS.
C. WATER FACTOR IN GALLONS PER CYCLE PER CUBIC FOOT

2 MAXIMUN FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES

P-100 SCALE

N.T.S.



SHOWER PAN INSTALLATION NOTES: (REF: FBC PLUMBING SECTION 421 "SHOWERS" / 421.5.2 "SHOWER LINING")

LINING MATERIAL: SHOWER FLOORS SHALL BE LINED AND MADE WATERTIGHT IN ACCORDANCE WITH FBC PLUMBING 421.5.2.

PRE-SLOPE: THE LINING SHALL BE PLACED ON A SMOOTH, SOLIDLY COMPACTED PRE-SLOPED BASE OF 1/4 INCH PER FOOT (2%) TOWARDS THE DRAIN.

TURN-UP: THE LINING SHALL TURN UP ON ALL SIDES A MINIMUM OF 3 INCHES (76 MM) ABOVE THE FINISHED THRESHOLD LEVEL.

FASTENERS: NO NAILS OR FASTENERS SHALL PENETRATE THE LINER BELOW THE REQUIRED TURN-UP HEIGHT.

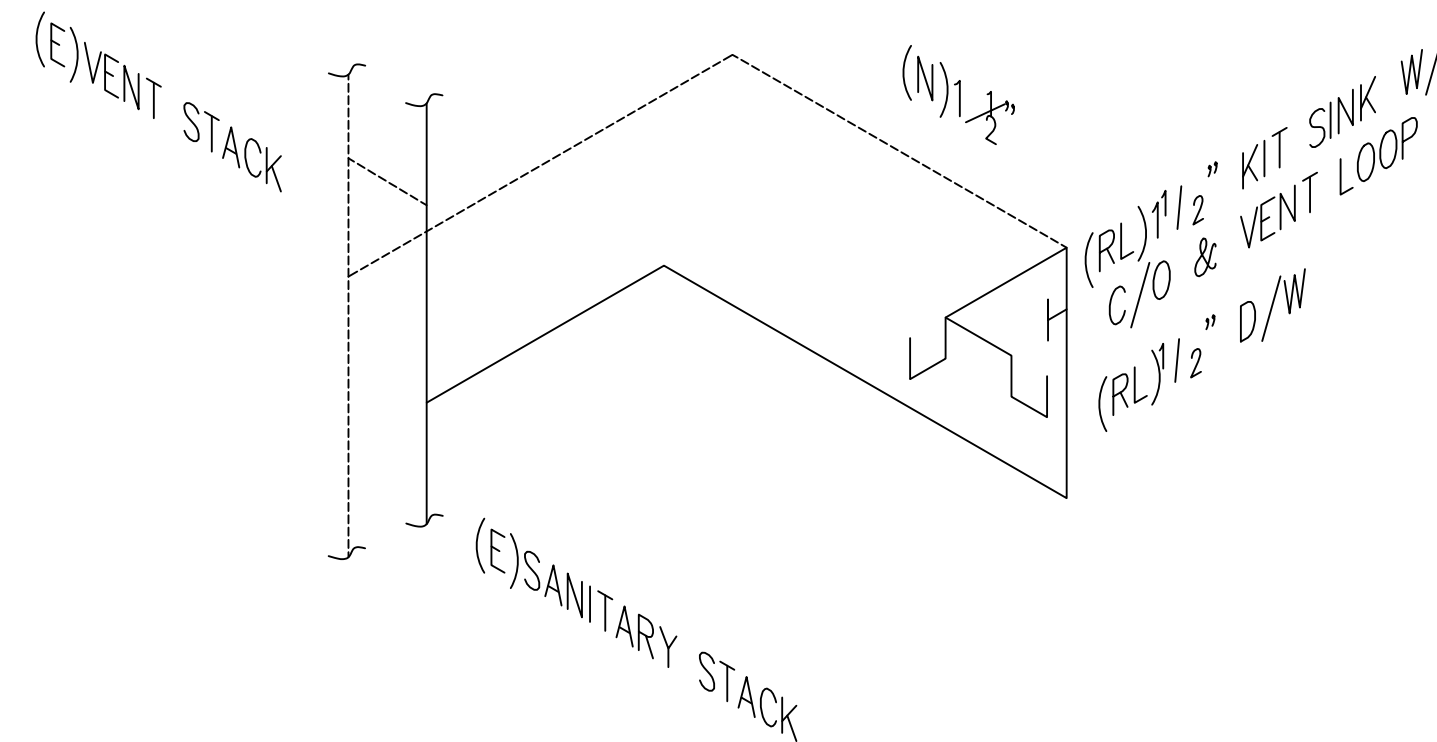
WEEP HOLES: DRAIN WEEP HOLES SHALL BE PROTECTED AND REMAIN CLEAR TO ENSURE PROPER DRAINAGE FROM THE PAN.

WATER TEST: A GRAVITY WATER TEST SHALL BE PERFORMED BY FILLING THE PAN TO THE THRESHOLD FOR A MINIMUM OF 15 MINUTES PRIOR TO COVERING (SECTION 312.9).

3 TYPICAL SHOWER PAN DETAIL

P-100 SCALE

N.T.S.



4 KITCHEN RISER DIAGRAM

P-100 SCALE

N.T.S.

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REVISIONS

WIMAL SUARIS, P.E.
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PLUMBING NOTES

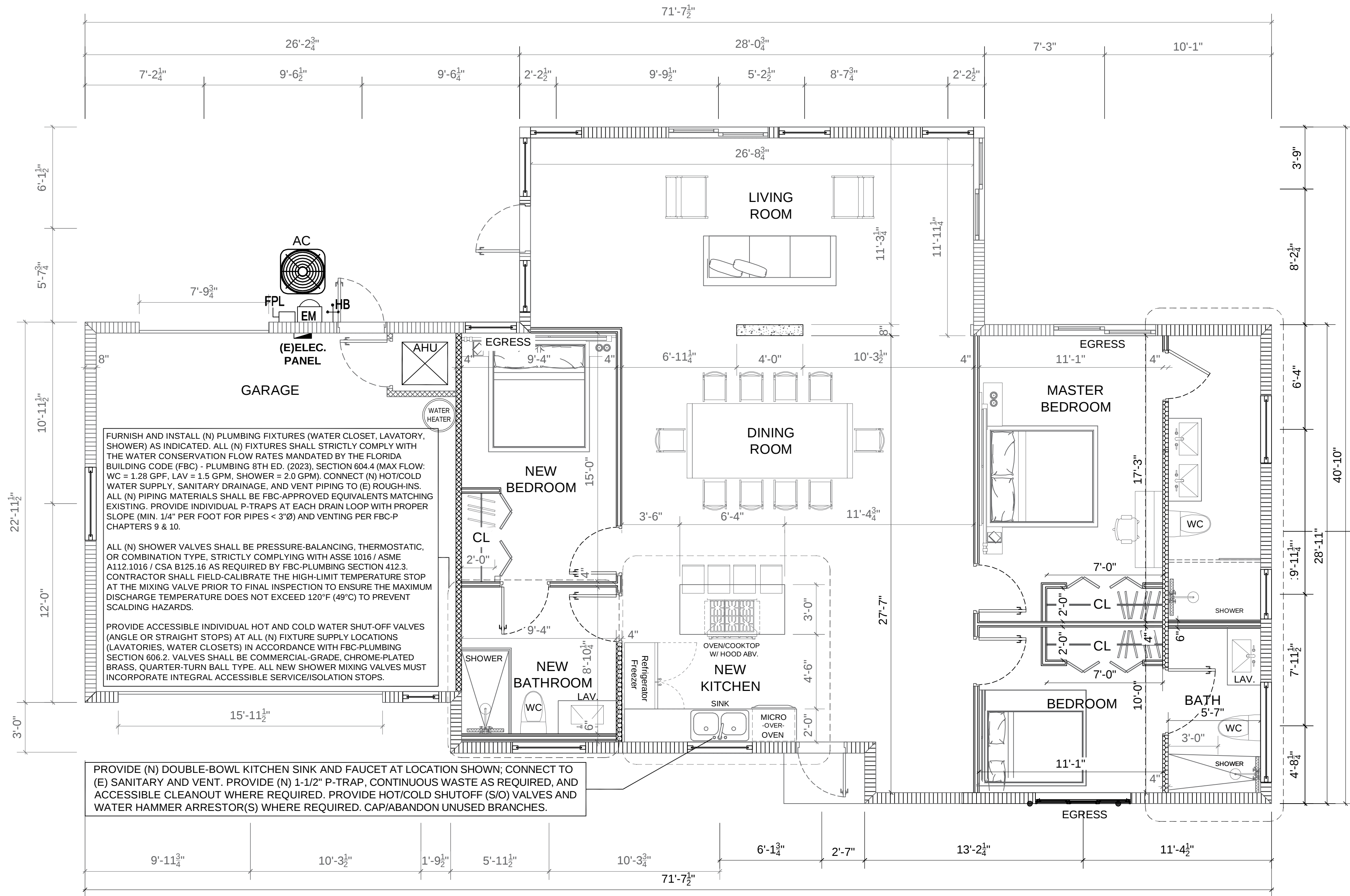
PROJECT:
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1 PLUMBING FLOOR PLAN
P-101 SCALE

1/4"=1'-0"

- (N) WATER CLOSET INSTALLED AT EXISTING ROUGH-IN LOCATION. FIXTURE SHALL BE A HIGH-EFFICIENCY / LOW-CONSUMPTION TYPE WITH A MAXIMUM FLUSH VOLUME OF 1.28 GPF IN STRICT COMPLIANCE WITH FBC-PLUMBING 8TH EDITION (2023), SECTION 604.4.
- (N) LAVATORY SINK & FAUCET INSTALLED AT EXISTING ROUGH-IN LOCATION. MAXIMUM FAUCET FLOW RATE SHALL NOT EXCEED 1.5 GPM @ 60 PSI TO COMPLY WITH FBC-PLUMBING 8TH EDITION (2023), SECTION 604.4. PROVIDE NEW ANGLE STOPS, SUPPLY LINES, AND P-TRAP AS REQUIRED.
- (N) SHOWER / TUB FIXTURES INSTALLED AT EXISTING LOCATION. MAXIMUM SHOWERHEAD FLOW RATE SHALL NOT EXCEED 2.0 GPM @ 80 PSI (FBC-P SEC. 604.4). SHOWER MIXING VALVE MUST INCLUDE ASSE 1016 / ASME A112.1016 COMPLIANT SCALD PREVENTIVE DEVICE.

REVISIONS	

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PLUMBING FLOOR PLAN
PROJECT: **360 SATURN AVENUE, TEQUESTA, FL 33469**

CLIENT: **PERMITTING & CONSTRUCTION SERVICES MIAMI, FL 33132**

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