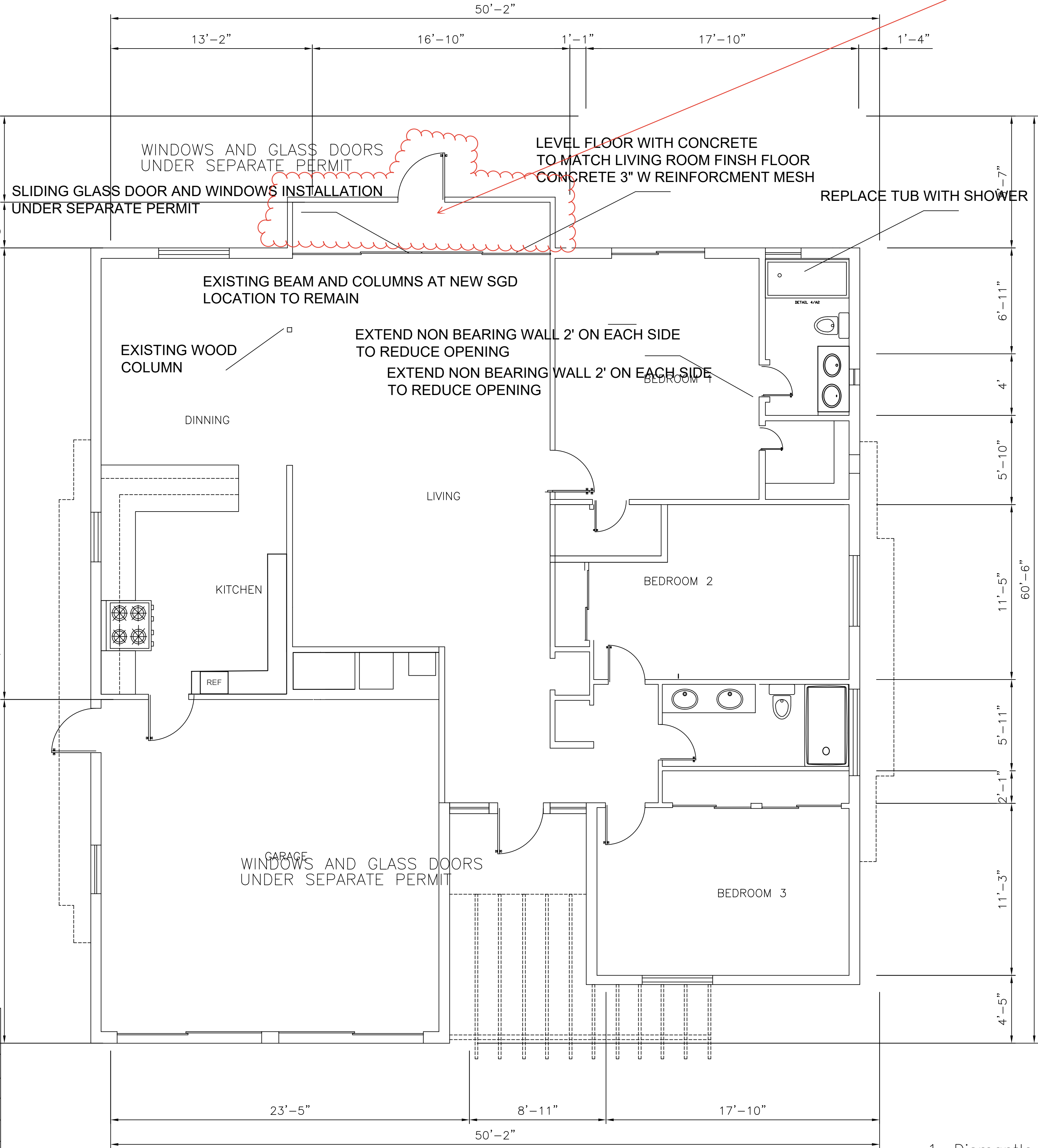


GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH FBC 2023 8TH EDITION AND WITH THE APPROVED SUPPLEMENTS, AND ANY OTHER APPLICABLE CODES OR ORDINANCES.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, ERROR OR OMISSIONS ENCOUNTERED ON PLANS. COMMENCEMENT OF WORK SHALL CONSTITUTE FULL ACCEPTANCE OF SITE CONDITIONS. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER TRADES AND THEIR WORK TO ENSURE COMPLIANCE WITH THE DRAWINGS.
4. THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK EXECUTED UNDER THIS CONTRACT AGAINST DEFECTS OF EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL AT HIS OWN EXPENSE REPLACE ALL SUCH EQUIPMENT OR MATERIALS DURING THE TERM OF GUARANTEE.
5. PERMITS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED TO COMPLETE THE PROJECT.
6. QUALIFICATION OF CONTRACTOR: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AND BE INSURED.
7. PROTECTION: THE CONTRACTOR SHALL PROTECT ADJACENT AREAS OF EXISTING BUILDING FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION AND SHOULD BE LIABLE FOR SAME.
8. WORKMANSHIP: ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE OF HIGH QUALITY AND FOLLOW THE MANUFACTURER'S RECOMMENDATION'S AND SPECIFICATIONS ALONG WITH BEST TRADE PRACTICES AND STANDARDS.
9. ALL WORK BY THE CONTRACTOR SHALL BE GUARANTEED AGAINST POOR WORKMANSHIP DEFECTS.
10. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS AND EQUIPMENT (UNLESS NOTED OTHERWISE) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THE DRAWINGS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP OF ALL RUBBISH, REFUSE, SCRAP MATERIAL AND DEBRIS RESULTING FROM WORK ON THE PROJECT. THE SITE SHALL BE MAINTAINED ON A DAILY AND THE SHALL MAINTAIN A NEAT ORDERLY APPEARANCE AT ALL TIMES.
12. THE CONTRACTOR SHALL PRESENT THE PROJECT FOR ACCEPTANCE BY THE OWNER, CLEANED AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEEPED BROOM CLEAN, FIXTURES WASHED AND ALL LABELS REMOVED.
13. THE CONTRACTOR SHALL PREPARE A PACKAGE WITH ALL EQUIPMENT AND APPLIANCE SPECIFICATIONS WHICH INCLUDES WARRANTY INFORMATION.
14. THE CONTRACTOR SHALL COORDINATE ALL FIXTURE INSTALLATIONS WITH MANUFACTURER SPECIFICATIONS AND REQUIREMENTS.

BUILDING DATA	
WORK CLASSIFICATION	ALTERATION LEVEL 3 - CHAPTER 9
OCCUPANCY CLASSIFICATION	(R-3) - RESIDENTIAL- FBC SECTION 310
TYPE OF CONSTRUCTION	VB (unprotected)
FOLIO	06434730400000070
BUILDING AREA A/C	1,587 SF
AREA OF TERRACE TO ENCLOSE	60 SF
LOT AREA	10,454 SF
GOVERNING AGENCY	PALM BEACH COUNTY

**SCOPE OF WORK IN ACCORDANCE WITH FLORIDA BUILDING CODE 2023: BUILDING (8th EDITION), 2017 FLORIDA FIRE PREVENTION CODE (6th EDITION), & NFPA 101 LIFE SAFETY CODE (2012 EDITION), FLORIDA BUILDING CODE 2023: EXISTING (8TH EDITION), FLORIDA BUILDING CODE 2023: RESIDENTIAL (8TH EDITION)



PROPOSED PLAN
SCALE: 1/4" = 1'

SCOPE OF WORK

1. Dismantle the outer wall (non envelope) at the entrance (garden) to the house.
2. Relocating refrigerator.
3. Rear Terrace enclosure.
4. Relocating location of dining room sliding glass door for terrace enclosure.
5. Reduce the opening of the entrance to the master bedroom.
6. Make a new door from the bedroom side to the walk-in closet.

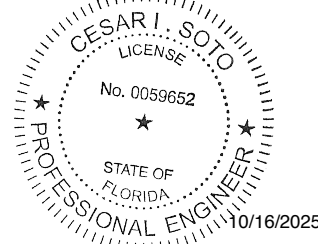
WINDOWS AND GLASS DOORS
UNDER SEPARATE PERMIT

CITY OF BOCA RATON



REVIEWED
FOR CODE COMPLIANCE
FIRST ISSUE

PERMIT NO. BPR-2025-02750
DATE: 3/2/2026



CONTACT: (305)559-5555 OR (781)277-3889
100 NW 100TH AVENUE, SUITE 200, BOCA RATON, FL 33432
PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA



15182.SW 25th ST DAVIE FL. 33326
PH: 786.357.9632

TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND FIRE-SAFETY STANDARDS AS DETERMINED BY CITY OF MIAMI SHORES IN ACCORDANCE WITH 2023 FBC SECTION 110.8.4.4. AND CHAPTER 633 OF THE FLORIDA STATUTES.

INTERIOR RENOVATION
AND ADDITION
1543 SW 1st Ave
Boca Raton FL 33432

NO.	DATE	REVISIONS

ISSUE RECORD:

10/16/2025

Comm. Num.: _____ Checked: _____

Scale: AS NOTED Drawn: NARM

SHEET TITLE

PROPOSED
ARCHITECTURAL
PLAN

SHEET No. A-1