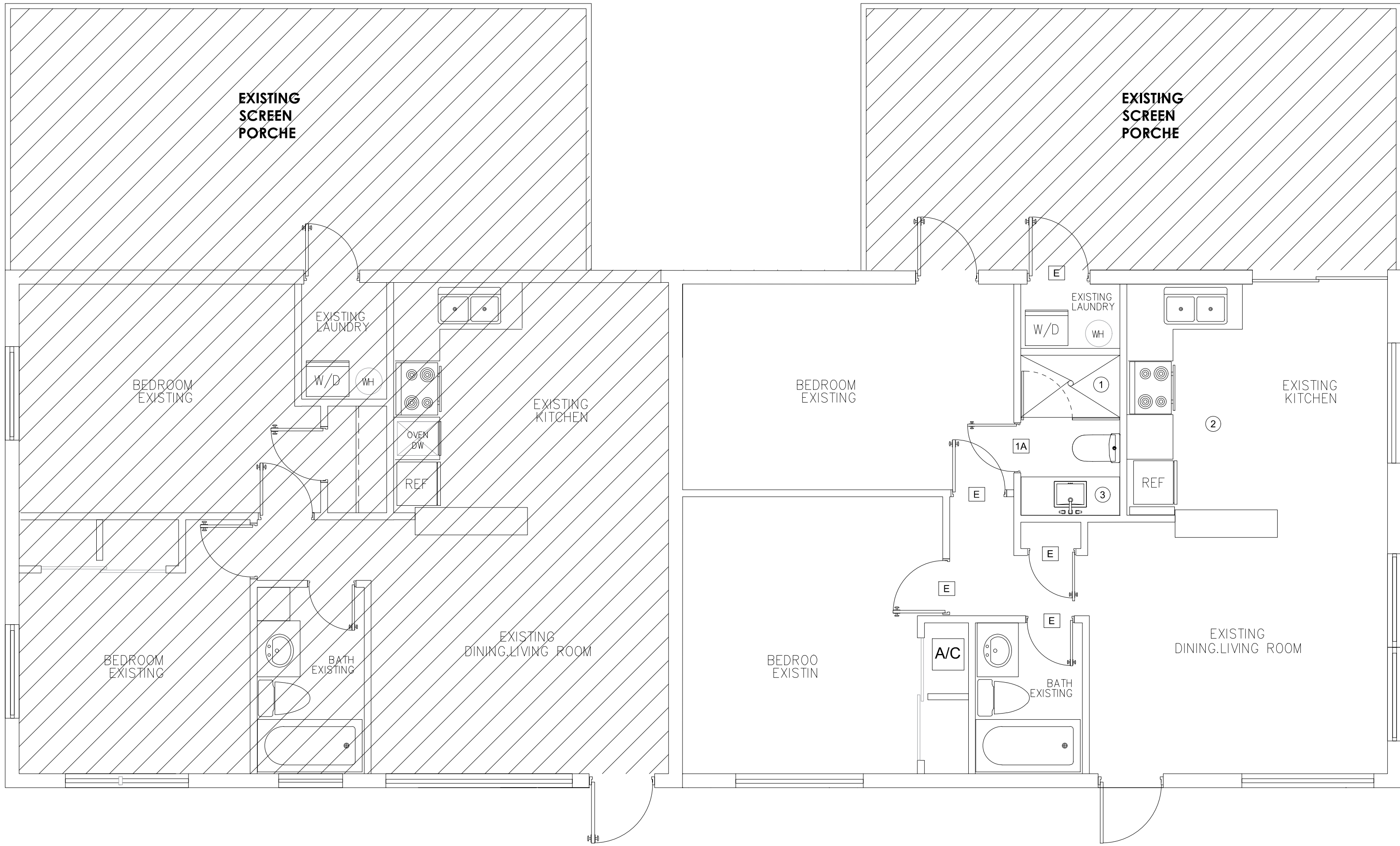




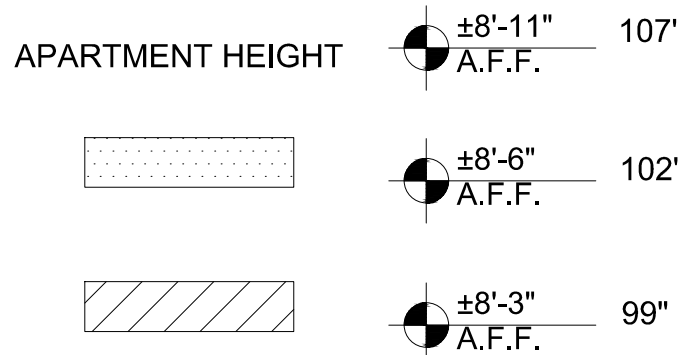
PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

ARCHITECTURAL KEY NOTES

- REPLACE FIXTURE, COLD WATER, HOT WATER AND SANITARY DRAIN CONNECTION TO BE REUSED.
- REPLACE ALL KITCHEN APPLIANCES AND CABINETS
- NEW VANITY

CEILING LEGEND



INTERIOR DOOR SCHEDULE

#	SIZE	TYPE	FINISH	MATERIAL	FRAME	HARDWARE	REMARKS
E	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
1A	28" X 84"	SWING	PAINT	WOOD	YES	TBD	

* GC AND OWNER TO CONFIRM DOOR DIMENSIONS ON FIELD PRIOR TO PURCHASE

ALL NEW FINISHES (WALL/CEILING/FLOOR/TRIM/DÉCOR), ARE TO COMPLY WITH CHAPTER 8, FOR FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION

THE FIRE RATED WALLS WILL NOT BE COMPROMISED. THE REMOVAL OF THE TILES, PLUMBING FIXTURES AND DRYWALL, WILL COMPROMISE THE RATING OF THE WALLS. REFER TO UL DETAILS ON PAGE A-3 FOR IMMEDIATE REPAIRS AS REQUIRED TO RESTORE THE RATING.

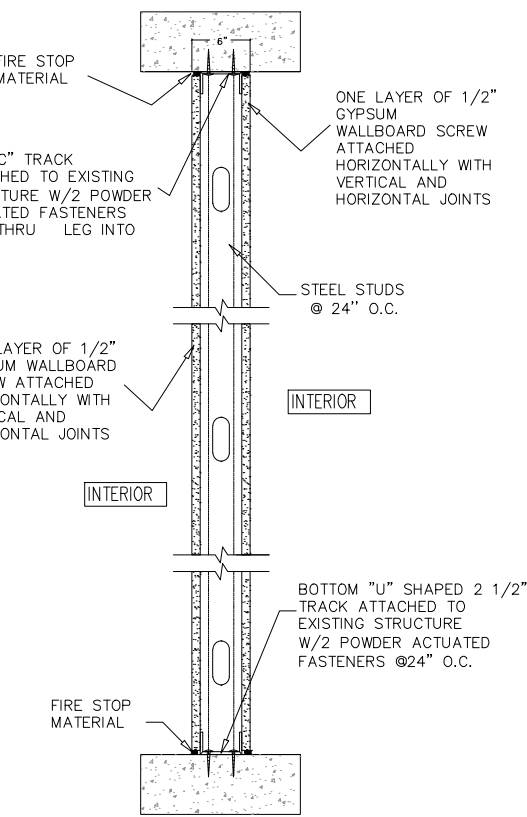
- OCCUPANCY CLASSIFICATION: R-3 DUPLEX RESIDENTIAL
- CONSTRUCTION TYPE: V-B CONSTRUCTION
- USE OF ANY COMBUSTIBLE MATERIALS TO COMPLY WITH FBC 603.1 (FIRE-RETARDANT-TREATED WOOD ONLY)

CODE IN EFFECT: FLORIDA BUILDING CODE, EXISTING 2023

AS PER FBC (EXISTING BLDGS) 2023.
THIS WORK IS CLASSIFIED AS ALTERATION LEVEL II

CONTRACTOR TO VERIFY THAT DEMOLITION WORK WILL NOT AFFECT ELECTRICAL, PLUMBING, MECHANICAL OR STRUCTURAL COMPONENTS OR SYSTEMS.
X-RAY IF NECESSARY. NOTIFY ENGINEER IF ANY DISCREPANCY OCCUR

KITCHEN CABINETS AND BATHROOM VANITIES LOCATED AGAINST A FIRE RATED WALL, AND IN-KIND REPLACEMENTS, THE FIRE-RATED WAS WILL NOT BE COMPROMISED AS PER CODE FBCV CHAP 7.



INTERIOR PARTITIONS
N.T.S.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH AND BE PERFORMED AS PER LATEST STATE, COUNTY AND ALL LOCAL CODES.
- ALL CONTRACTORS SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND THE EXTENT OF THE WORK BEFORE SUBMITTING A PROPOSAL.
- ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND IMMEDIATELY NOTIFY THE DESIGNER OF RECORD OF ANY DISCREPANCIES BEFORE COMMENCING WORK. OR THE CONTRACTOR, BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. (DO NOT SCALE DRAWINGS)
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND SECURING THEIR REQUIRED PERMITS AS DEEMED APPROPRIATE TO THEIR WORK.
- THE MILLWORK CONTRACTOR SHALL OBTAIN AND VERIFY ALL MEASUREMENTS AND CONDITIONS AT THE JOBSITE AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR ALL DETAILS AND DIMENSIONS ASSURING PRECISION FITTING AND PROPER ASSEMBLY OF HIS PRODUCTS.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THEIR WORK WHERE APPROPRIATE TO BE SET PLUMB, LEVEL AND SQUARE, SCRIBED TIGHTLY AND ACCURATELY TO ADJACENT SURFACES, SECURELY ANCHORED IN THE POSITION INDICATED ON DRAWINGS AND APPROVED SHOP DRAWINGS.
- CONTRACTOR SHALL ENSURE PROPER TEMPORARY SHORING, DRAINAGE AND WATERPROOFING DURING AND AFTER CONSTRUCTION.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS RESULTING FROM THEIR WORK.
- CONTRACTORS TO INSTALL ALL FINISH MATERIALS AS PER MANUFACTURERS SPECIFICATIONS AND LOCAL CODES
- GENERAL CONTRACTOR SHALL COORDINATE & BE RESPONSIBLE FOR ANY AND ALL WORK TO BE PERFORMED IN ADJACENT AREAS AS A RESULT & CONSEQUENCE OF THIS PROJECT
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL APPLICABLE WORK WITH CABINET CONTRACTORS, ELECTRICAL CONTRACTOR, LOCAL TELEPHONE OPERATOR AND VENDORS.
- ALL MATERIALS SHALL BE NEW, OF QUALITY SPECIFIED AND DELIVERED IN AMPLE QUANTITIES TO PREVENT DELAY OF WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LOCAL BUILDING DEPARTMENT FILING, PERMITS, APPROVALS, ETC, PAYMENT OF ALL NECESSARY FEES AS REQUIRED BY THE ABOVE AUTHORITIES FOR JOB COMPLETION AND SIGN OFF SHALL BE INCLUDED IN PRICING TO THE PROJECT MANAGER.
- ALL PENETRATIONS IN FIRE RATED PARTITIONS SHALL BE TOTALLY SEALED AS PER CODE.
- CONTRACTOR SHALL VERIFY CLEARANCES REQUIRED FOR ALL FIXTURES BEFORE ORDERING MATERIAL.

CONTRACTOR NOTES

- USE CEMENT BOARD IN ALL WET AREAS AS PER FBC 2509.2
- GLASS DOORS TO BE CATEGORY II SAFETY GLASS.
- PROVIDE WALL TILES IN BATHROOM WET AREAS TO 6" OR 72" MIN. ABOVE FLOOR IN COMPLIANCE WITH FBC 1210.3
- INTERIOR WALL, CEILING, FLOORS, DECORATIONS AND TRIM FINISHES SHALL COMPLY WITH FBC CHAPTER 8 (TYPE B MIN).
- FLOOR TO BE LEVELED ON BOTH SIDES OF THE DOOR WITH A MAX OF 1/2" ACROSS THE THRESHOLD
- MINIMUM SHOWER WIDTH 30"
- EXISTING SMOKE ALARMS IN COMPLIANCE WITH FBCE 704.4.3.6
- SHOWER DOOR SHALL HAVE MINIMUM CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF 22 INCHES AS PER FPC 417.4.2.7
- SHOWER AND TUB-SHOWER COMBINATION VALVES REQUIRED BY THIS SECTION SHALL BE EQUIPPED WITH A MEANS TO LIMIT
- INDIVIDUAL SHOWER VALVES, INDIVIDUAL SHOWER AND TUB-SHOWER COMBINATION VALVES SHALL BE BALANCED-PRESSURE, THERMOSTATIC OR COMBINATION BALANCED-PRESSURE/THERMOSTATIC VALVES THAT CONFORM TO THE REQUIREMENTS OF ASSE 1016 OR ASME A112.18.1/CSA B125.1 AND SHALL BE INSTALLED AT THE POINT OF USE. SHOWER AND TUB-SHOWER COMBINATION VALVES REQUIRED BY THIS SECTION SHALL BE EQUIPPED WITH A MEANS TO LIMIT THE MAXIMUM SETTING OF THE VALVE TO 120°F (49°C), WHICH SHALL BE FIELD ADJUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. IN-LINE THERMOSTATIC VALVES SHALL NOT BE UTILIZED FOR COMPLIANCE WITH THIS SECTION..

LEGEND

- | | |
|--|--|
| | EXISTING EXTERIOR WALL TO REMAIN |
| | DRYWALL PARTITION TO REMAIN |
| | NEW DROP CEILING. REFER TO DETAIL ON THIS PAGE |

1/2" MAXIMUM THRESHOLDS (EXISTING OR NEW) OR FLOOR TRANSITIONS INSIDE THE UNIT. AS PER FBCB 1010.1.5 / 1010.1.7

CONTRACTOR TO DETERMINE IF THE STRUCTURAL SLAB IS POST-TENSIONED OR MILD REINFORCED BEFORE INSTALLING ANY POST-INSTALLED FASTENERS, IF THE STRUCTURAL SLAB IS POST-TENSIONED VERIFY THAT THE FASTENERS USED TO INSTALL THE SOFFIT/WALL FRAMING WILL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF THE SLAB

WORK AREA

NEW DOORS	=	15.16 SF
KITCHEN CABINETS	=	37.94 SF
NEW BATHROOM TILE	=	36.26 SF
	=	89.36 SF

REVISION / DATE

RN Engineering, Inspections & Construction, Inc.
PE Lic No. 60494
CA Lic. No. 32037
9758 W. Sample Road.
Coral Springs, FL 33065
Phone: (954) 656-2584
Fax: (954) 656-2595
Rolando@RNEIC.com
www.RNEIC.com

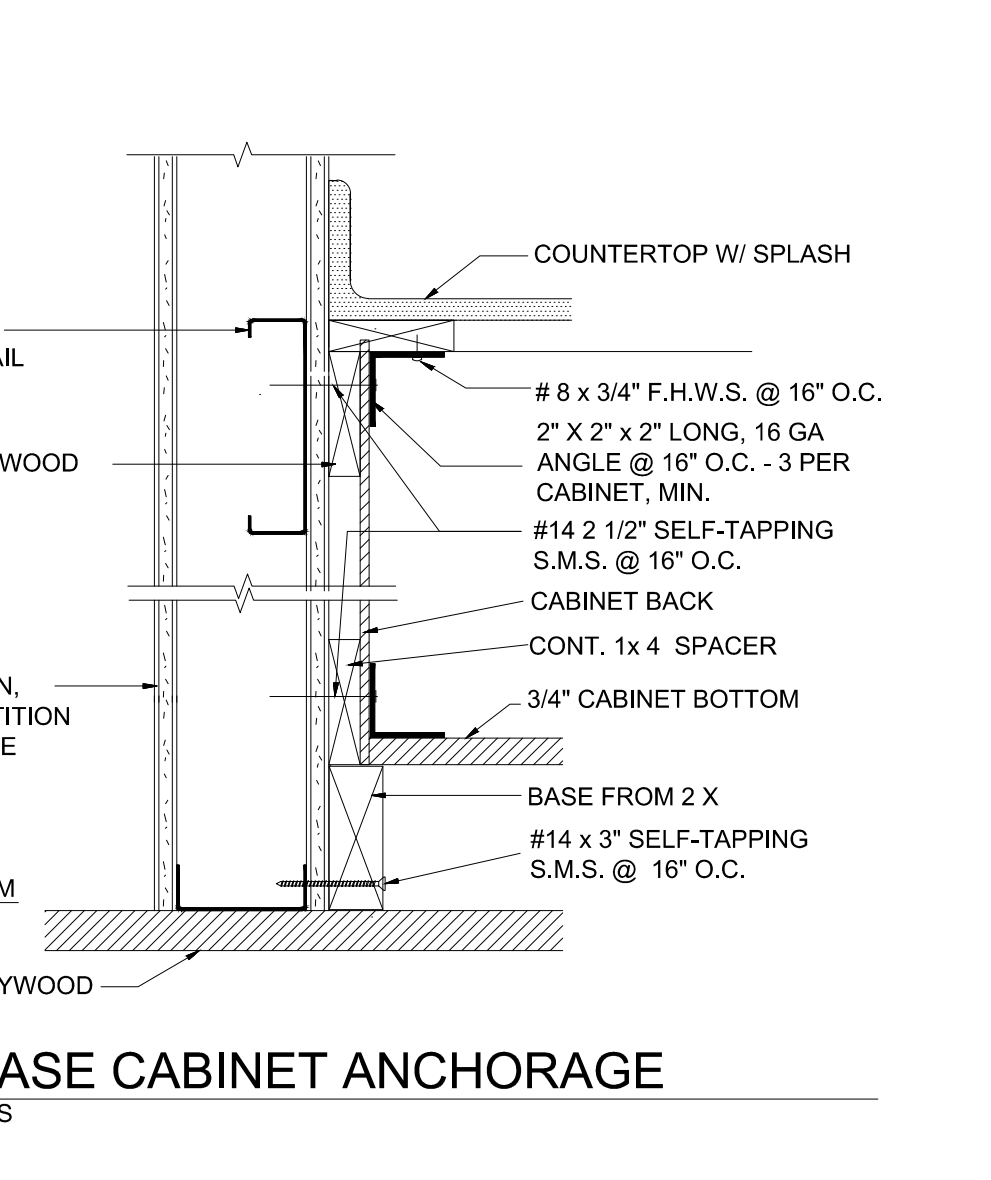
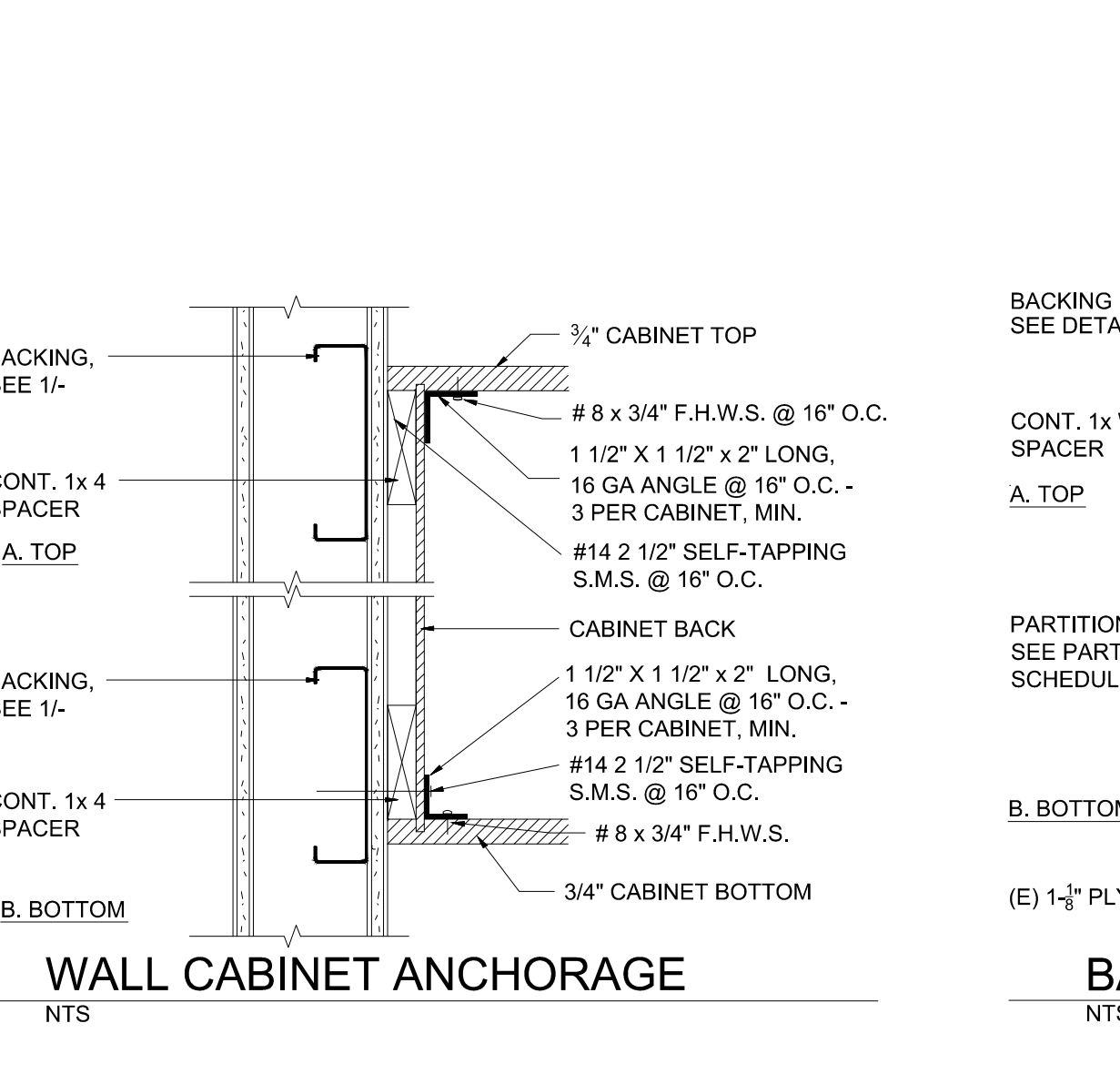
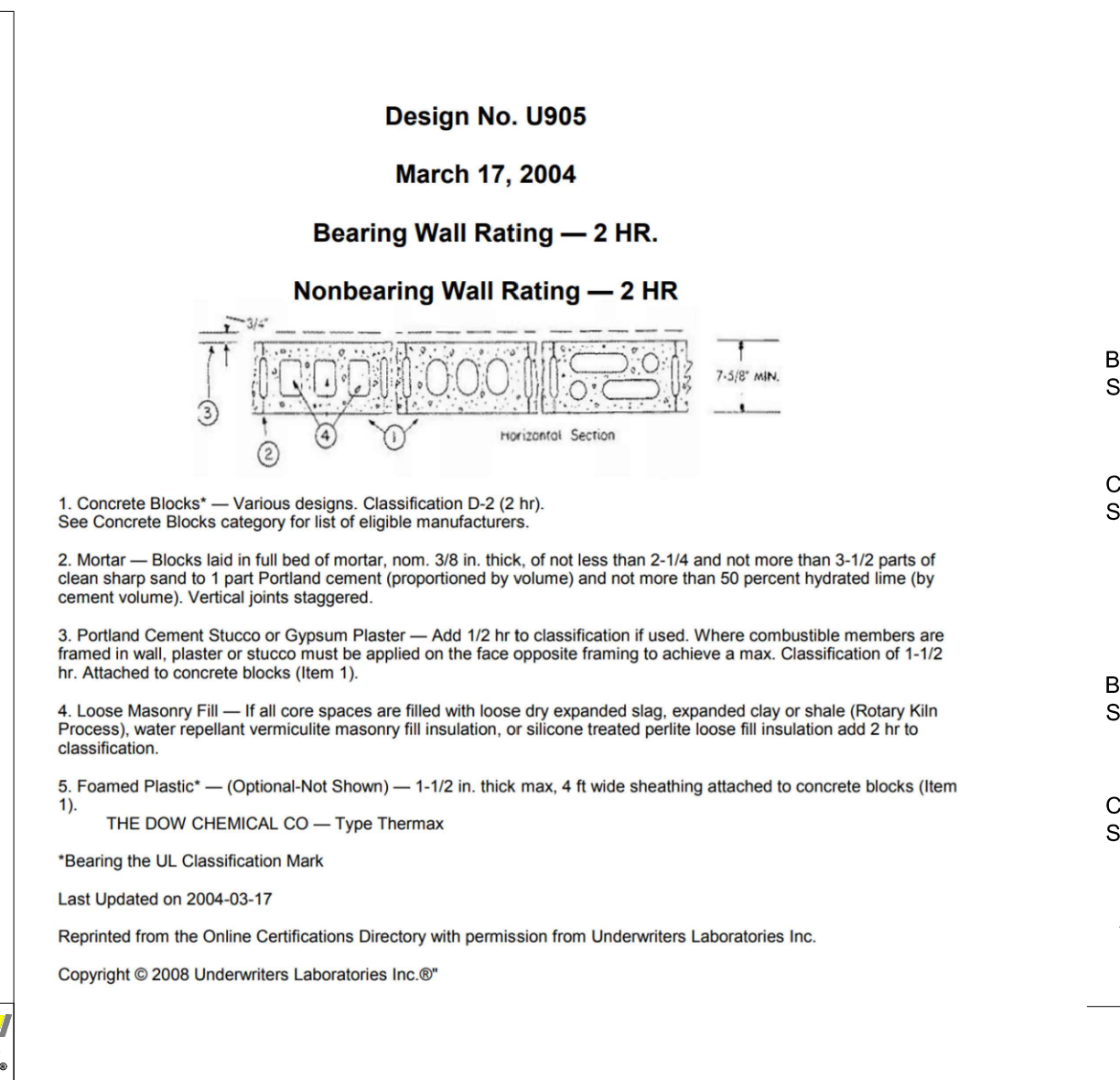
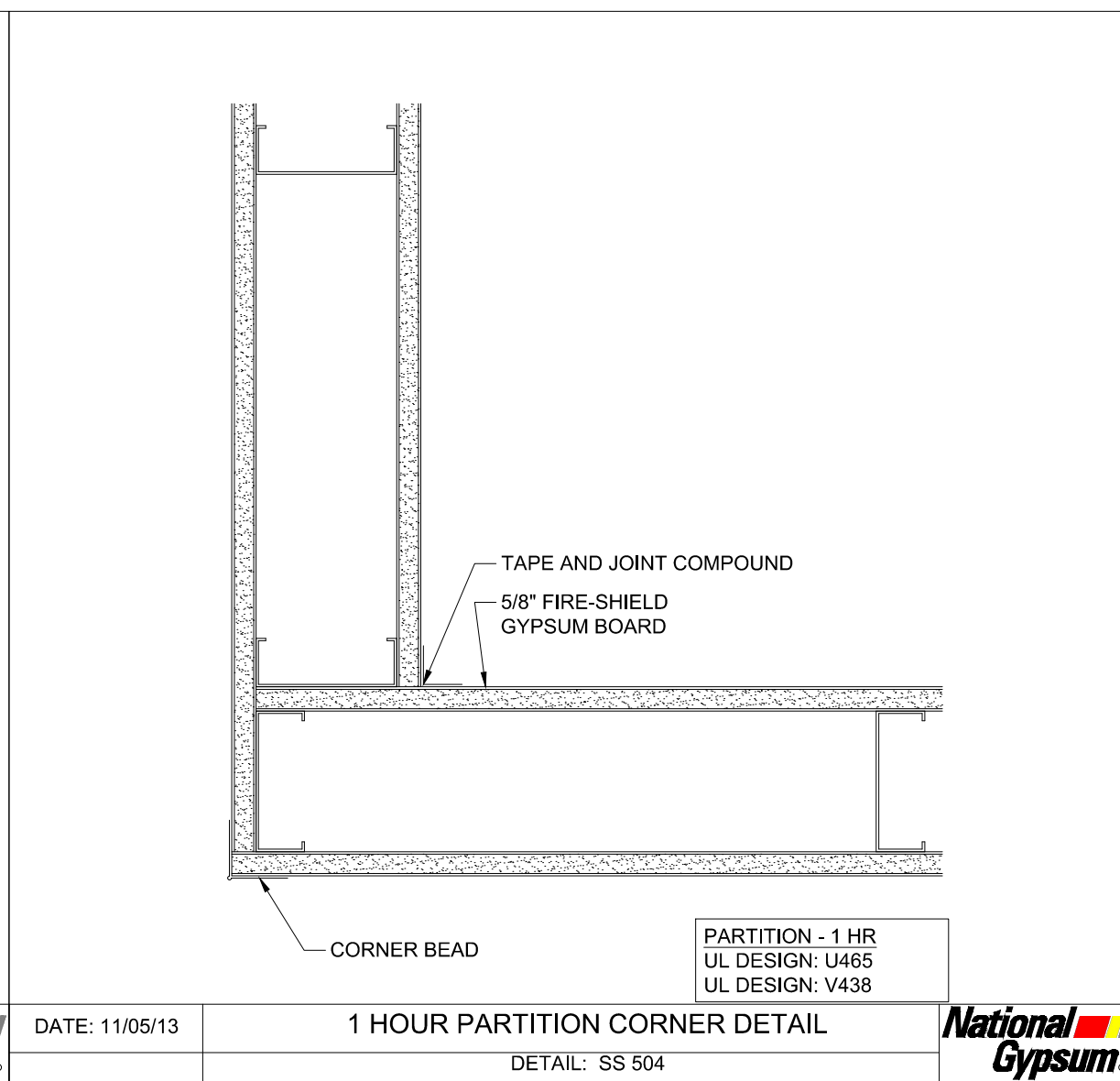
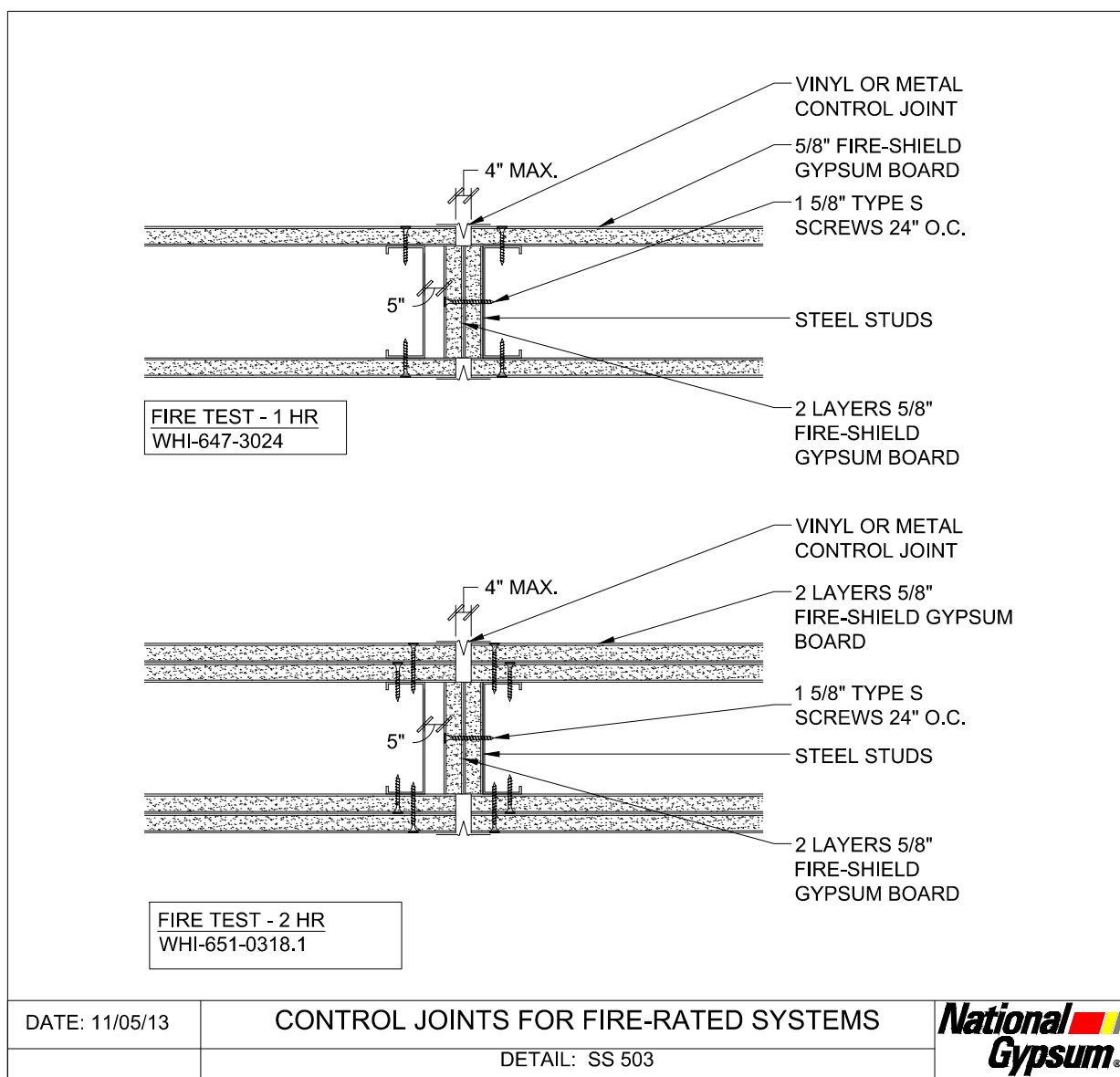
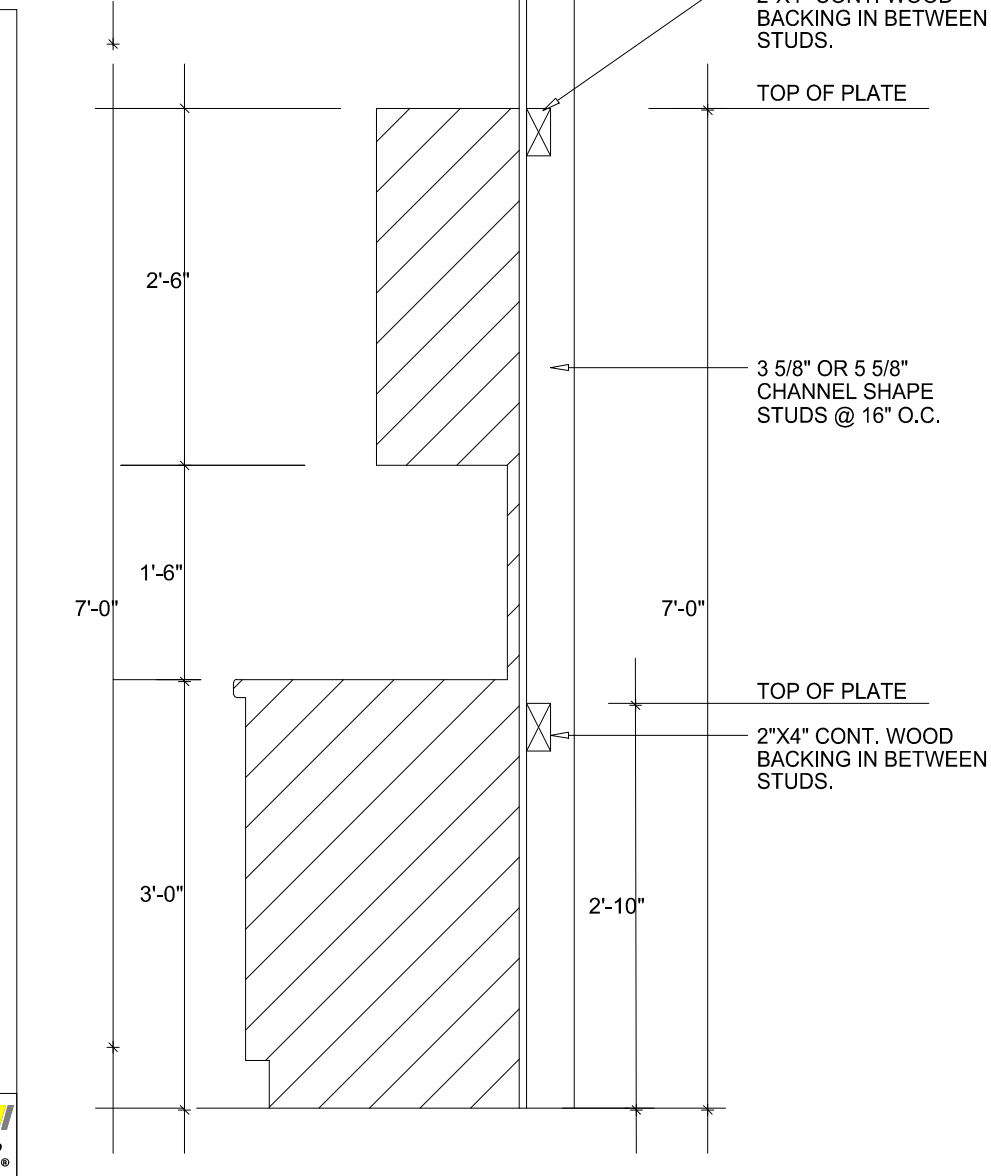
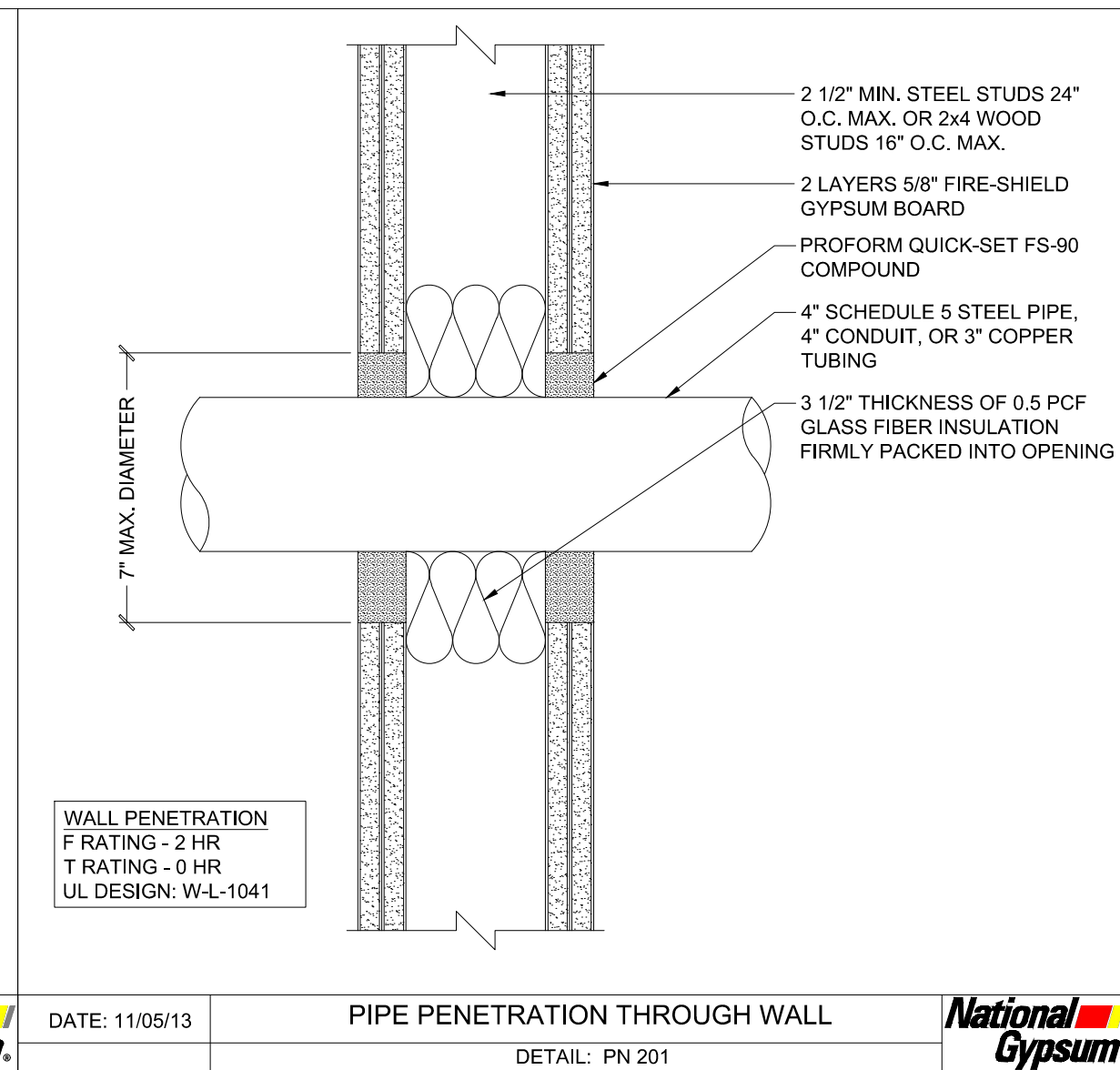
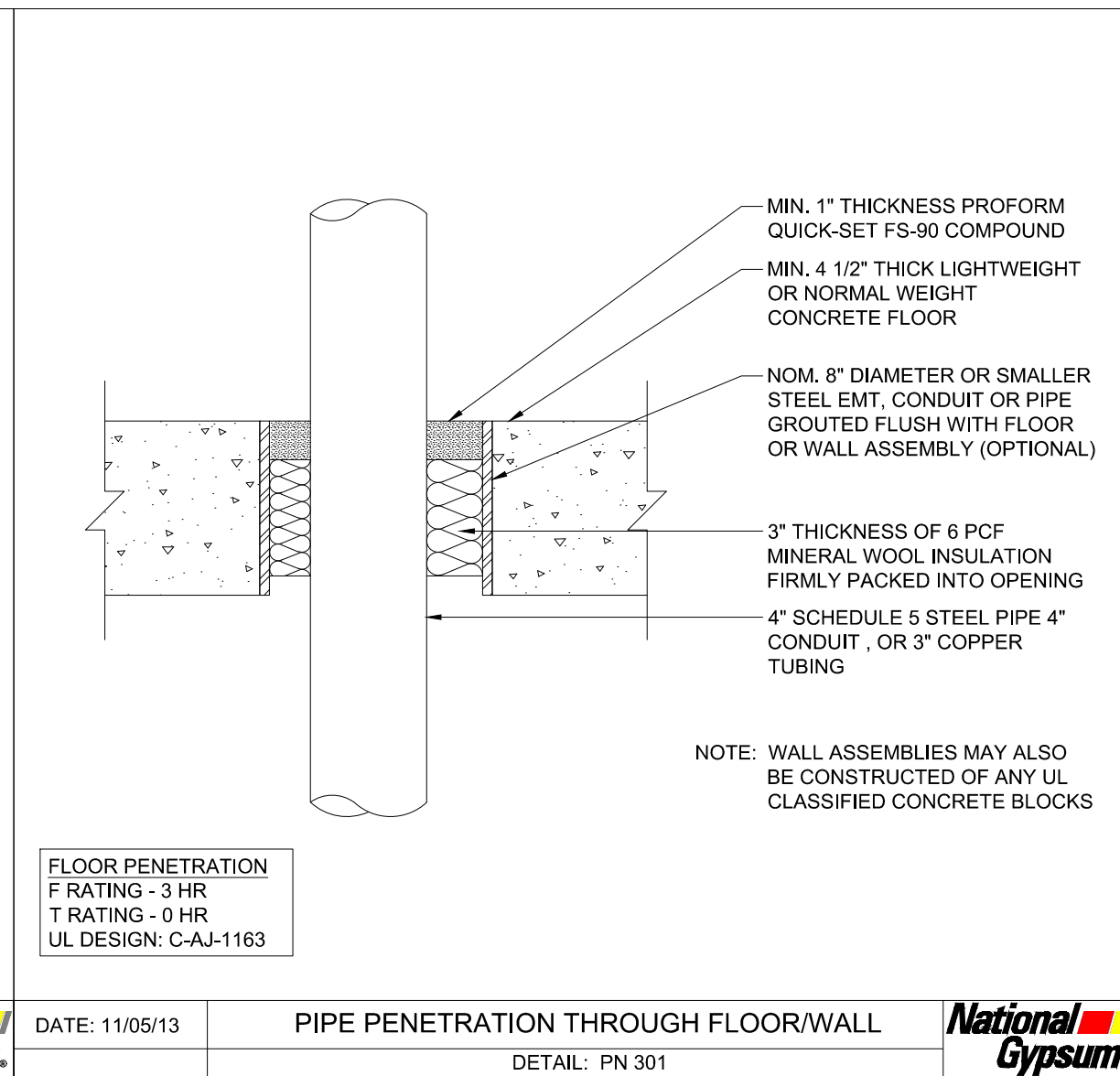
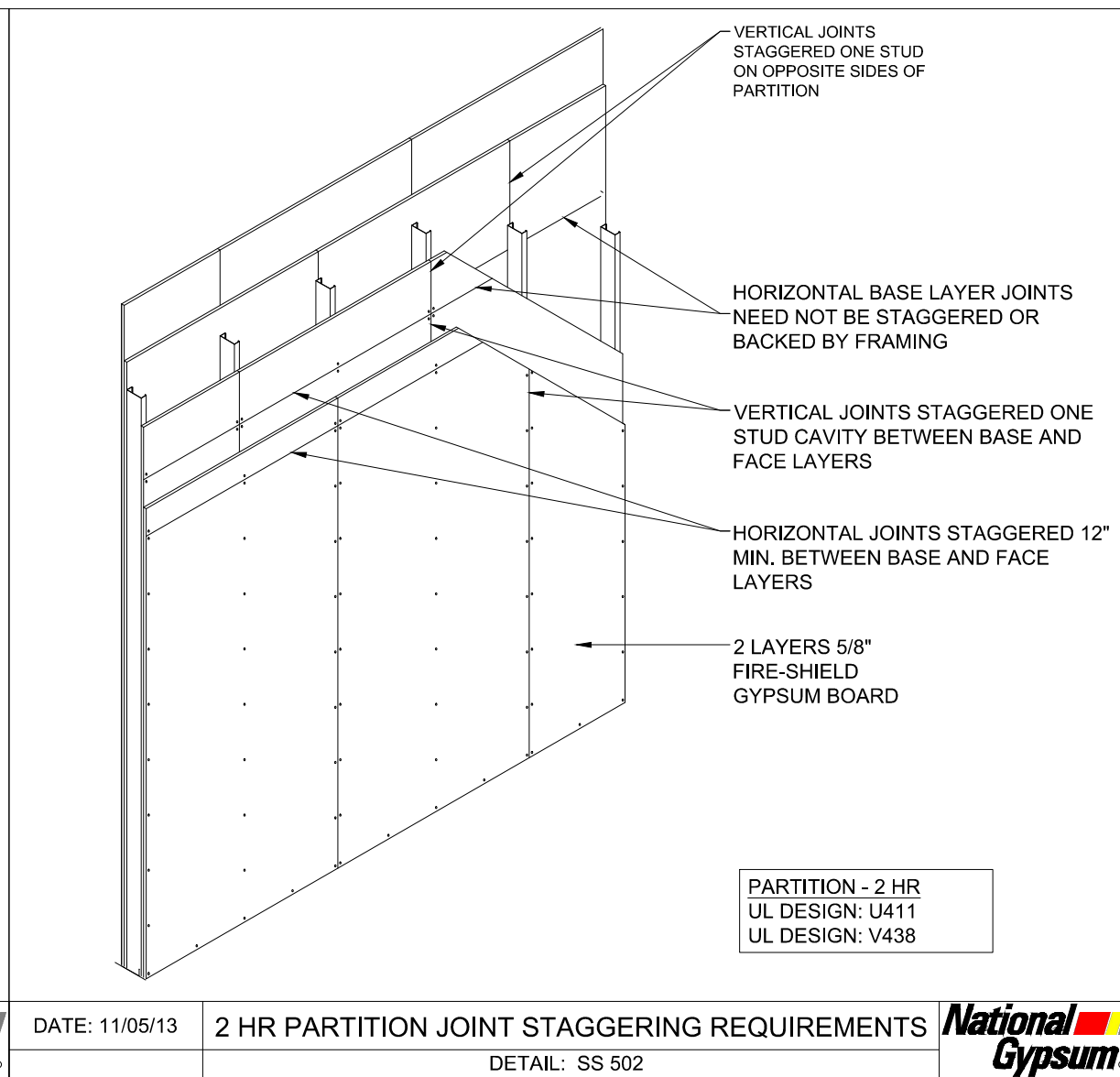
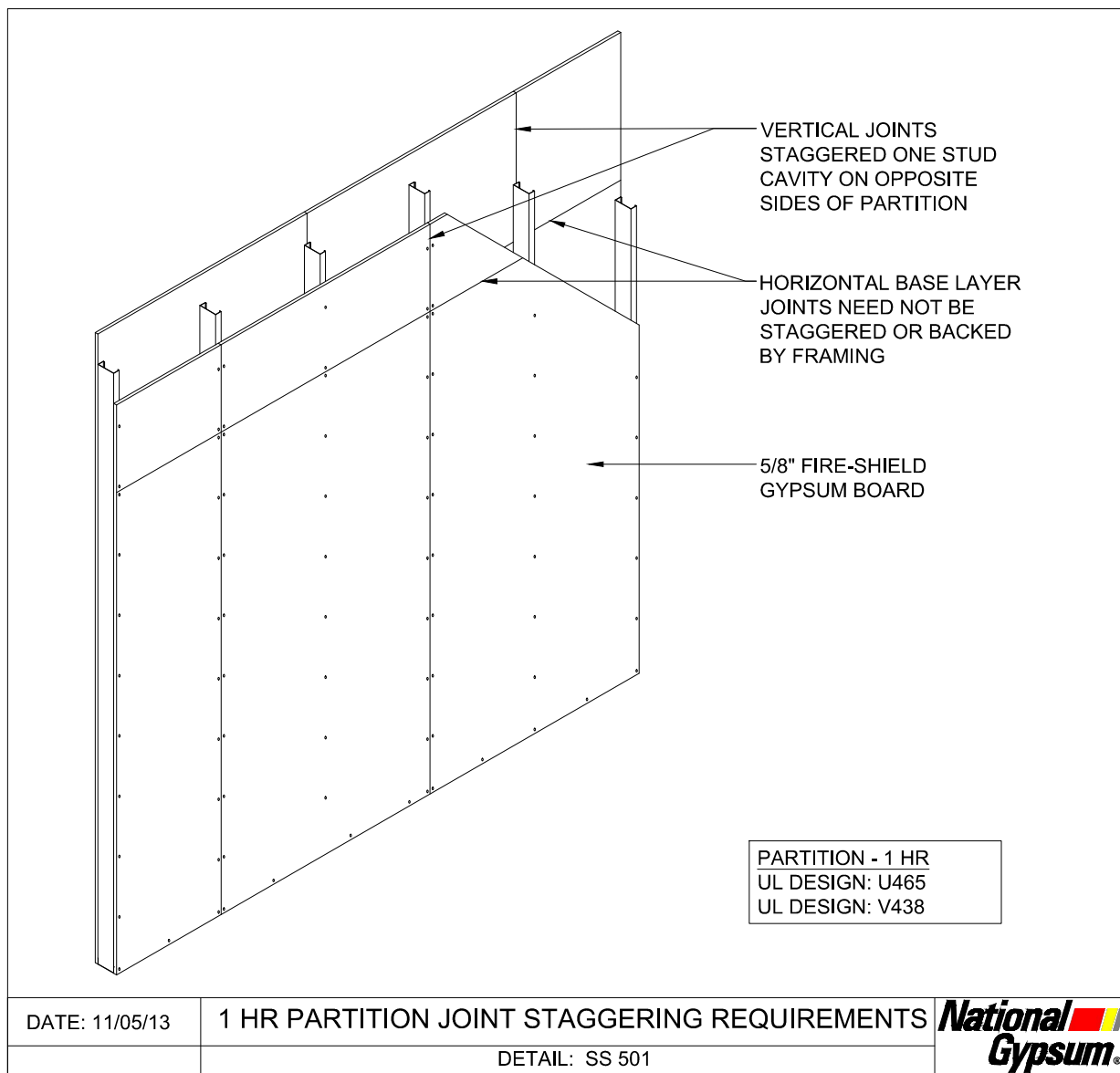
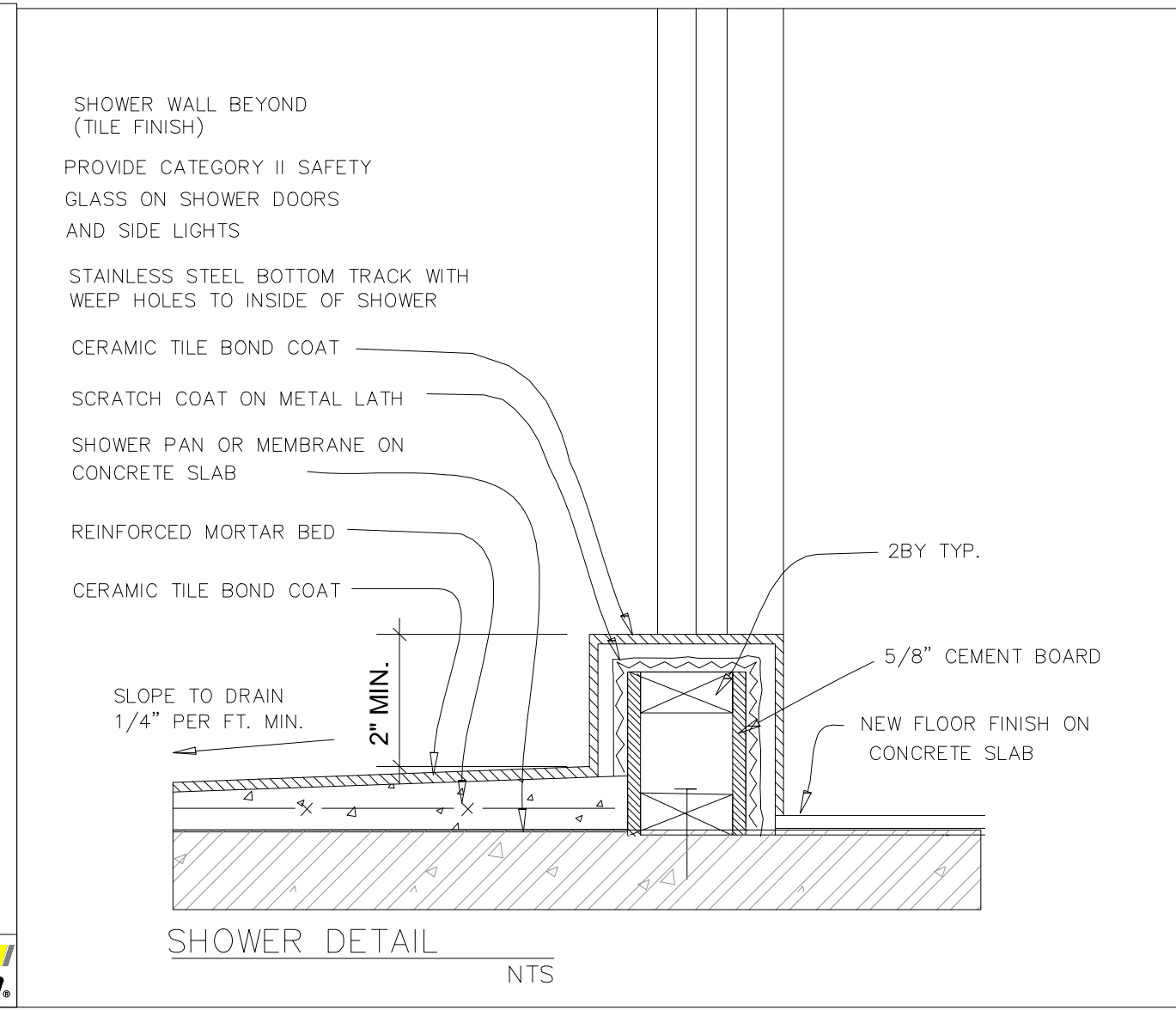
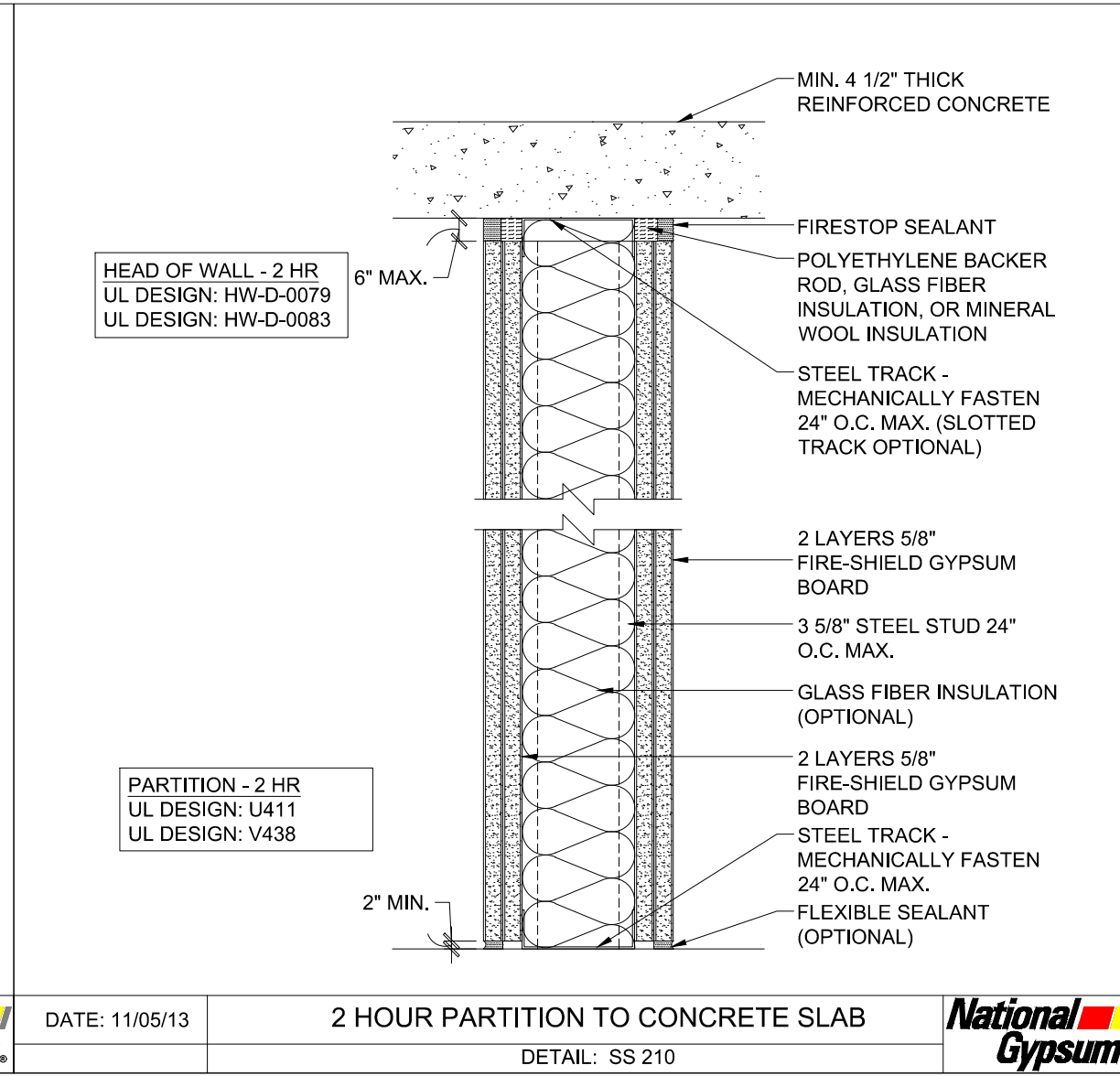
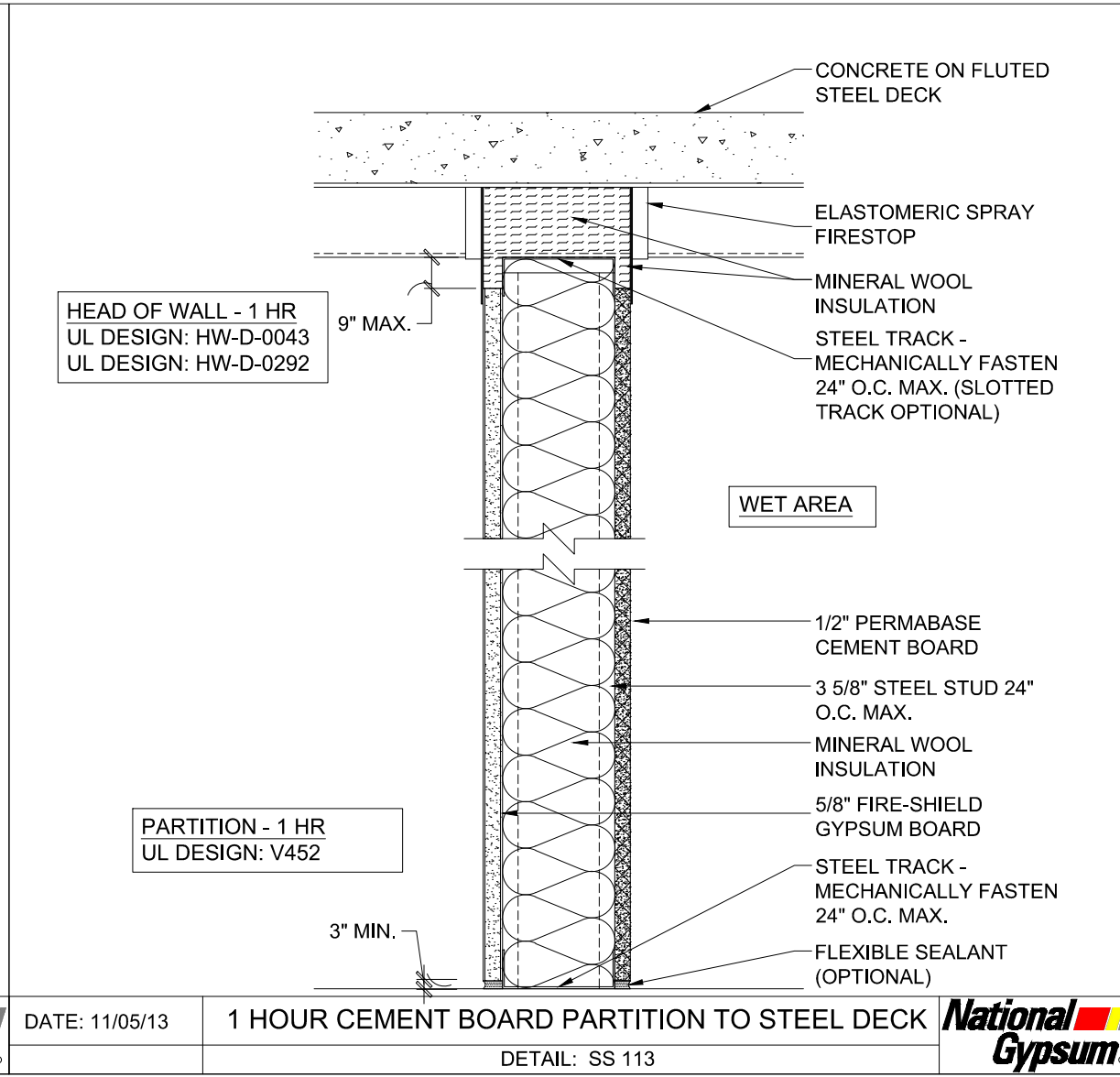
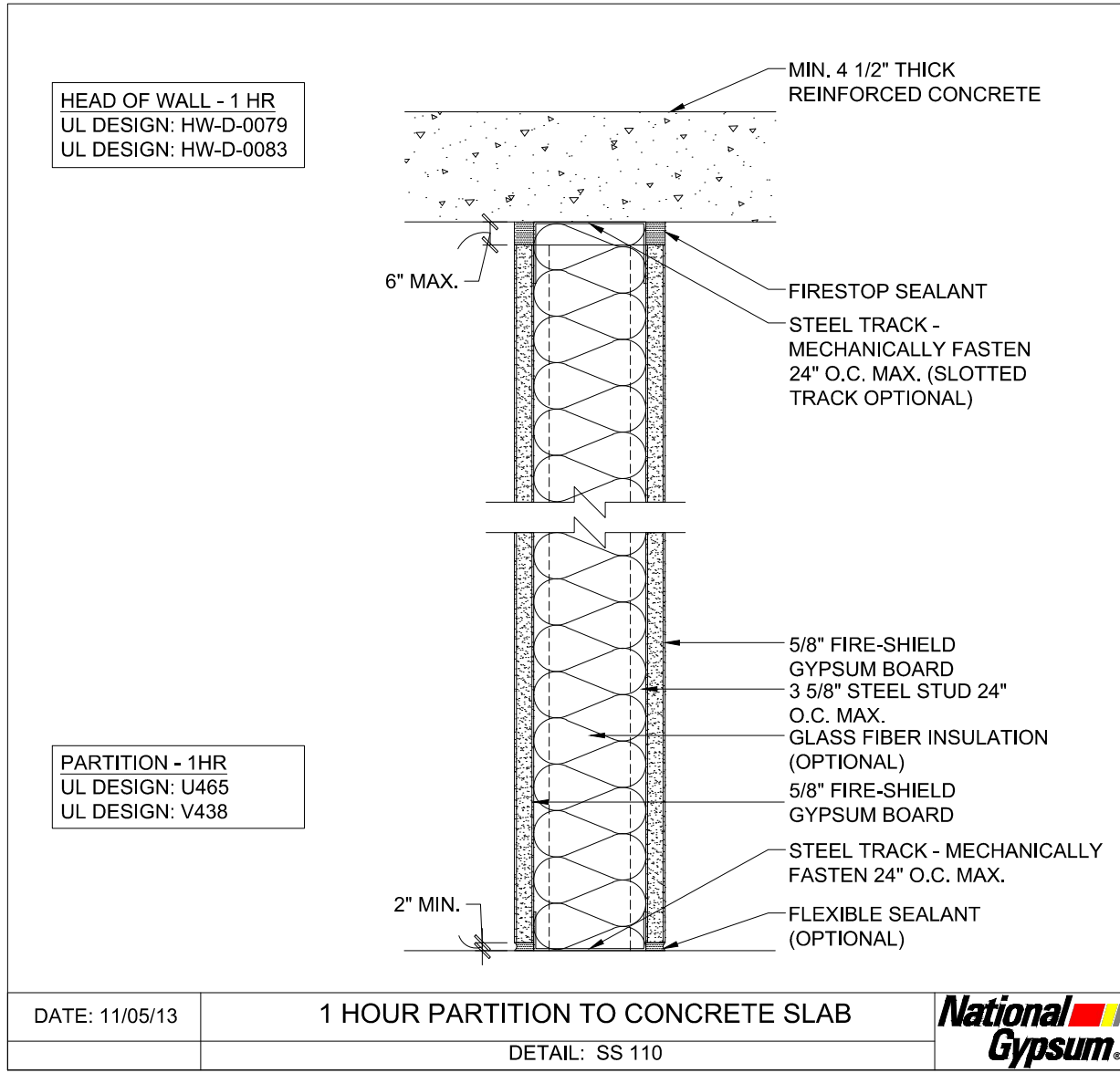
KITCHEN AND BATHROOM
RENOVATION

1530 SW 21ST STREET #1-2
FORT LAUDERDALE, FL 33315

DRAWN BY:	DG
CHECKED BY:	DR
JOB NUMBER:	00_For
DATE:	6/16/2026

ARCHITECTURAL
PLAN

A-1



REVISION / DATE

RN Engineering, Inspections & Construction, Inc.
PE Lic No. 60494
CA Lic. No. 32037
9758 W. Sample Road.
Coral Springs, FL 33065
Phone: (954) 656-2584
Fax: (954) 656-2595
Rolando@RNEIC.com
www.RNEIC.com

KITCHEN AND BATHROOM RENOVATION

1530 SW 21ST STREET #1-2 FORT LAUDERDALE, FL 33315

DRAWN BY:	DG
CHECKED BY:	DR
JOB NUMBER:	00_For
DATE:	6/16/2026

ARCHITECTURAL DETAILS

A-2

DEMOLITION KEY NOTES	
1	REMOVE EXISTING SINK
2	REMOVE EXISTING FIXTURE
3	REMOVE KITCHEN APPLIANCES AND RANGE
4	REMOVE EXISTING TOILET
5	REMOVE EXISTING FLOOR
6	REMOVE EXISTING DOORS
7	REMOVE EXISTING SHOWER

DEMOLITION LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
DEMOLITION AREA	
102.0 LF OF WALL TOTAL WALLS	= 00.00 SF 00.00 SF
1 WOOD DOOR FLOOR TILE KITCHEN CABINETRY AND APPLIANCES BATHROOM FLOOR TOTAL DEMO	= 15.16 SF = 00.00 SF = 37.94 SF = 36.26 SF = 89.36 SF

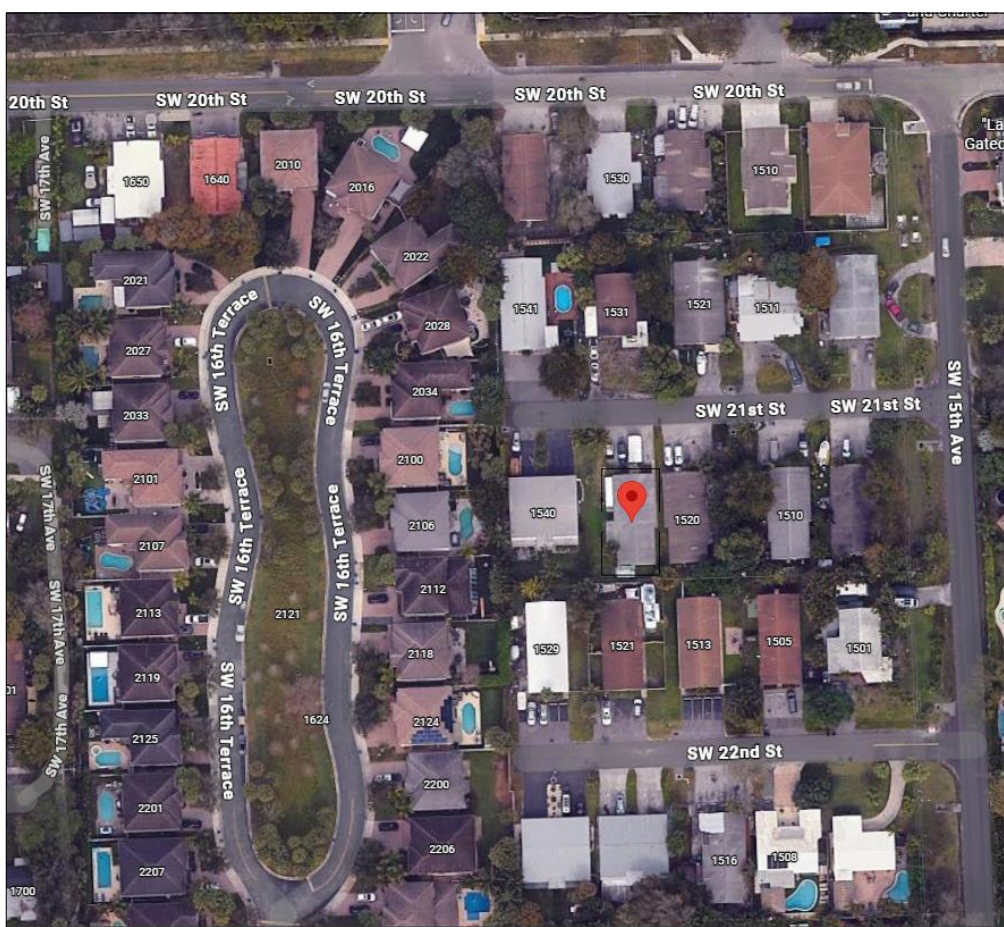
DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPERTY INFORMATION	
Property ID:	504216360120
Property Owner(s):	RV PROJECTS LLC
Mailing Address:	5800 RAMBLER ROSE WAY WEST PALM BEACH, FL 33415
click here to update mailing address	
Property Address:	1530 SW 21 STREET # 1-2 FORT LAUDERDALE, 33315
Neighborhood:	River Oaks
Property Use:	08 - Multi-family - less than 10 units
Millage Code:	0312
Adj. Bldg. S.F.:	1822 Card/Permits
Bldg Under Air S.F.:	
Effective Year:	1974
Year Built:	1969
Units/Beds/Baths:	2 / /

SCOPE OF WORK	
- REPLACE KITCHEN AND BATHROOM CABINETS AS SHOWN - A/C TO REMAIN - ELECTRICAL TO REMAIN JUST SHOWN AS ADDITIONAL INFORMATION - BATHROOM FIXTURES TO BE REPLACED AND/OR ADDED; ALL CONNECTIONS (CW, HW AND SANITARY) WILL STAY AS IS OR BE REPLACED AS NECESSARY AND SHOWN - NO STRUCTURAL WORK TO BE DONE - NO EXTERIOR CHANGES TO BE DONE. ALL WINDOWS AND EXTERIOR DOORS TO REMAIN - ALL KITCHEN APPLIANCES TO BE REPLACED - TOILET TO BE REPLACED - BATHROOM FLOOR TO BE REPLACED - SHOWER TO BE REDO AS SHOWN IN PLAN	

SCOPE OF WORK CLASSIFICATION	
SCOPE OF WORK CLASSIFICATION PROPOSED ALTERATION CLASSIFICATION OF WORK: EXISTING OCCUPANCY CLASSIFICATION: R-3 (DUPLEX RESIDENTIAL) EXISTING CONSTRUCTION TYPE: TYPE V-B CONSTRUCTION WORK CLASSIFICATION: LEVEL II ALTERATION AS PER FLORIDA BUILDING CODE - EXISTING BUILDING 2023 THIS PROJECT CONSISTS OF INTERIOR RENOVATIONS ONLY AND DOES NOT CHANGE THE EXISTING OCCUPANCY, BUILDING AREA, HEIGHT, NUMBER OF STORIES, OR NUMBER OF DWELLING UNITS.	



AREA OF WORK 1530 SW 21ST STREET #1-2 FORT LAUDERDALE, FL 33315	
LOCATION MAP SCALE: N.T.S.	NORTH

DEMOLITION NOTES:	
1. CONDITIONS AND REQUIREMENTS: THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.	
2. PROCEDURES: THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION.	
3. PARTITION: REMOVE ALL EXISTING INTERIOR PARTITIONS AND RELATED UTILITIES AS INDICATED IN THE DEMOLITION PLAN.	
4. DUST CONTROL: THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.	
5. PROTECTION OF EXISTING BUILDING: A. EXISTING BUILDING SHALL BE PROTECTED FROM DAMAGE. ANY PART DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE. B. COVER ITEMS AS NECESSARY TO PROTECT FROM DUST. C. AT END OF EACH WORK DAY, CLOSE OFF AREAS FROM PUBLIC. D. DEMOLITION CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES TO PREVENT SPILLAGE ON ANY UNAUTHORIZED PERSONS FROM ACCIDENTALLY OR INTENTIONALLY ENTERING THE WORK AREA.	
6. ENVIRONMENTAL PROTECTION: ALL WORK AND CONTRACT OPERATIONS SHALL COMPLY WITH ALL REQUIREMENTS OF STATE AND BROWARD COUNTY ENVIRONMENTAL PROTECTION REGULATIONS.	
7. EXPLOSIVE AND BURNING A. USE OF EXPLOSIVES WILL NOT BE PERMITTED. B. USE OF FIRE FOR DEMOLITION OR DISPOSAL OF MATERIAL OR ANY OTHER SITUATION INTENTIONAL OR ACCIDENTAL WILL NOT BE PERMITTED.	
8. EXISTING UTILITIES A. CONTACT ALL UTILITIES INCLUDING ELECTRIC, WATER, GAS AND TELEPHONE, PRIOR TO BEGINNING WORK AND REQUEST THAT ALL SERVICE BE SHUT OFF AND CAPPED AT PRIMARY SERVICE LINES. B. REMOVE ALL EXISTING UTILITIES ACCORDING TO SEQUENCE OF OPERATIONS APPROVED AT START OF PROJECT. C. REMOVE ALL EXISTING UTILITIES UNCOVERED BY DEMOLITION AND TERMINATE IN A MANNER AND AT A TIME SATISFACTORY TO UTILITY COMPANIES INVOLVED. WHERE UTILITY COMPANY DESIRES TO EFFECT THE REMOVAL OF THEIR MATERIALS THEY SHALL BE PERMITTED TO DO SO. D. REMOVE AND DELIVER METERS AND RELATED EQUIPMENT TO THE APPROPRIATE UTILITY COMPANIES WITHOUT ADDITIONAL COST TO THE OWNER. WHEN UTILITY LINES ARE ENCOUNTERED THAT ARE NOT ON THE DRAWINGS OR VISIBLE THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH INSTRUCTIONS OF THE ARCHITECT/ENGINEER. E. INSTALL AND LEAVE A WELL MARKED STAKE AT CAPPED END OF EVERY UTILITY CAPPED ON THE SITE.	
9. DISPOSING OF MATERIAL: A. TITLE TO MATERIALS: TITLE TO ALL MATERIAL AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPT ITEMS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR AT START OF PROJECT. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITIONS, LOSS, OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED. B. DEBRIS CONTROL: REMOVE AND TRANSPORT DEBRIS IN LEAK-FREE CONTAINERS IN A MANNER TO PREVENT SPILLAGE ON ANY PART OF EXISTING BUILDING, PARKING LOT AREAS, OR CITY STREETS. C. REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL DISPOSAL AREA.	
10. PREPARATION: A. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE. B. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE. C. PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING AND PATCHING WORK.	
11. PERFORMANCE: A. EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS. B. EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTION, TOLERANCE AND FINISHES. C. RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGH DOCUMENTS. D. FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH SURFACES. E. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES. 1. FOR CONTINUOUS SURFACES, REFINISH TO NEAREST INTERSECTION. 2. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT.	

APPLICABLE CODES	
THESE PLANS WERE PREPARED AND SHALL COMPLY WITH:	
ALL DISCIPLINES: FLORIDA BUILDING CODE (F.B.C.)- 2023 EDITION (8TH EDITION) NATIONAL ELECTRICAL CODE- 2020 EDITION FLORIDA FIRE PREVENTION CODE- 2023 EDITION WHICH INCLUDES NFPA 101, 2021 EDITION, NFPA1, 2021 EDITION & STATE STATUTES, 2021 EDITION (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN).	

CONTRACTOR TO VERIFY THAT DEMOLITION WORK WILL NOT AFFECT ELECTRICAL, PLUMBING, MECHANICAL OR STRUCTURAL COMPONENTS OR SYSTEMS. X-RAY IF NECESSARY. NOTIFY ENGINEER IF ANY DISCREPANCY OCCUR

CODE IN EFFECT: FLORIDA BUILDING CODE, EXISTING 2023
--

AS PER FBC (EXISTING BLDGS) 2023. THIS WORK IS CLASSIFIED AS ALTERATION LEVEL II

REVISION / DATE

RN Engineering, Inspections & Construction, Inc.
PE Lic No. 60494
CA Lic. No. 32037
9758 W. Sample Road.
Coral Springs, FL 33065
Phone: (954) 656-2584
Fax: (954) 656-2595
Rolando@RNEIC.com
www.RNEIC.com

KITCHEN AND BATHROOM
RENOVATION
1530 SW 21ST STREET #1-2
FORT LAUDERDALE, FL 33315

DRAWN BY:	DG
CHECKED BY:	DR
JOB NUMBER:	00_For
DATE:	6/16/2026

DEMOLITION PLAN

D-1

